



Council's Alternate Approach for New Housing in the Inner West

APPENDIX 2

Draft Design Guide

Our Fairer Future Plan 2

September 2026

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INNER WEST

Design Guide

Our Fairer Future Plan 2



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1. How to read this Design Guide

This Design Guide applies to Our Fairer Future Plan 2, including deferred sites from Our Fairer Future Plan 1 and some additional sites. It is structured to align with and provide further detail to the Draft Inner West Development Control Plan (2026) (IWDCP). For this reason, the Design Guide should be read alongside the Draft IWDCP 2026 to fully appreciate the intended design outcomes.

The Design Guide contains site specific objectives and controls that have been arranged to align with the neighbourhood sections in Part 4 – Place Specific Controls of the IWDCP 2026.

Within the site-specific controls in this Design Guide, the future character, objectives and controls have been included only where they are different or additional to what's contained in the IWDCP 2026, in order not to duplicate or confuse the reader.

This Design Guide should be read in association with the Our Fairer Future Plan 2, Our Fairer Future Plan 2 Blue Book and the IWDCP 2026 to fully appreciate the intended development outcomes.

READ WITH

- **Our Fairer Future Plan 2**
- **Our Fairer Future Plan 2 Blue Book**
- **Draft Inner West Development Control Plan (2026)**

2. Introduction

Our Fairer Future Plan 1 was reported to an Extraordinary Council Meeting on 30 September 2025. Council resolved to endorse the Our Fairer Future Plan 1 subject to amendments.

Our Fairer Future Plan 1, together with the proposed Our Fairer Future Plan 2, will apply to the Inner West LGA.

Our Fairer Future Plan 2 builds on Our Fairer Future Plan 1 by:

- Including some areas deferred from planning in Plan 1 (predominantly in Ashfield and Marrickville) that required further detailed investigation, relating to issues such as flooding, heritage, traffic impacts, local character and development feasibility.
- Including additional uplift areas for part of Leichhardt, Annandale, Lilyfield, Stanmore, Petersham, Lewisham, Newtown and St Peters.
- Revisiting parts of the Croydon and Iron Cove Precinct to take into account the context of Burwood Council's approach to Croydon.
- Submissions received during the exhibition of Our Fairer Future Plan 1.

This Design Guide supports the Our Fairer Future Plan 2 Master Plan with detailed design objectives and controls to guide positive development outcomes.

2.1. Purpose and Application

Our Fairer Future Plan 2 applies a precinct and sub-precinct approach to the Inner West. The IWDCP 2026, exhibited in May 2026, takes a slightly different approach by referring to 24 individual neighbourhoods with precinct and site specific development objectives and controls. Increased housing and employment infill development within Our Fairer Future Plan 2 is proposed for 11 of the 24 neighbourhoods.

This Design Guide has been structured to align with the draft IWDCP 2026 neighbourhood approach.

The 11 neighbourhoods, and corresponding Housing Investigation Areas (HIA) sub-precincts are listed below.

1. Annandale Neighbourhood (includes Annandale Booth Street sub-precinct)
2. Ashfield Neighbourhood (includes several Ashfield sub-precincts)
3. Croydon Neighbourhood (includes Croydon and Iron Cove Precinct)
4. Dulwich Hill Neighbourhood (includes Dulwich Hill Village sub-precinct)
5. Leichhardt Neighbourhood (includes North Leichhardt and Hawthorne Marion sub-precincts)
6. Lilyfield Neighbourhood (includes Lilyfield sub-precinct)
7. Marrickville Neighbourhood (includes Marrickville Road West and Marrickville Local Centre sub-precincts)
8. Newtown Neighbourhood (includes Newtown-St Peters sub-precinct)
9. Petersham Neighbourhood (includes Petersham sub-precinct)
10. St Peters Neighbourhood (includes Newtown-St Peters sub-precinct)
11. Stanmore Neighbourhood (includes Stanmore sub-precinct)

This Design Guide supports the land use amendments anticipated in the draft Master Plans and LEP controls. The objectives and controls proposed will inform future amendments to the Inner West Development Control Plan.

2.2. Vision

The Inner West's neighbourhoods are a place of community delight. They are distinct villages; a network of places that provide new housing in dense, sustainable and liveable ways.

The Inner West's neighbourhoods are supported by a network of neighbourhood centres, each with their own identity, leafy parks and community places. Each neighbourhood supports amenity oriented development - where housing is near to centres, community infrastructure, parks and stations.

The vision is outlined in the Our Fairer Future Plan.

The vision is supported by the following objectives:

1. Promote a **Country-centred design** that demonstrates a 'starting with Country' approach via critical understanding of place, physical, natural and cultural systems.
2. Lead with **amenity-oriented development**, with **denser housing** located in areas with access to shops, open space, along busier road corridors, community infrastructure and public transit.
3. Ensure new development supports strengthening the centres with corresponding **neighbourhood amenity and character** with appropriately scaled street walls, street setbacks, building dimensions and separations.
4. Encourage **active and public transport** through a modal shift from private vehicles.
5. **Support lot amalgamation** that offers increased density, whilst acknowledging the characteristic grain of Sub-Precincts and streets through building and public realm design.
6. Encourage **tree canopies to increase** over time through provision of deep soil and appropriate siting of buildings.
7. Promote **enhanced sustainability** through built form, design and arrangement, materials, biodiversity and green infrastructure controls.
8. Ensure development **respects heritage** items and provides appropriate interpretation and transitions in scale to the surrounds.
9. Promote **housing diversity** that supports design excellence with enhanced amenity

3. General Controls

3.1. Built Form

Objectives

- O1. To ensure high quality and well-designed built forms that:
 - a) strengthen the urban character and identity of precincts;
 - b) support a range of land uses and future development outcomes;
 - c) are appropriately scaled with site layouts that complement local context, and respect heritage items and heritage conservation areas;
 - d) minimises adverse amenity impacts;
 - e) enhances the public domain;
- O2. To ensure residential development achieves quality living environments and mitigates urban hazards by taking an integrated and innovative approach to:
 - a) address road and aircraft noise, and air quality impacts;
 - b) the orientation of development and individual dwellings;
 - c) prioritise natural ventilation and minimise need for heating and cooling; and
 - d) protect and enhance the amenity of nearby residential development.
- O3. To provide appropriate employment uses on the ground floor in mixed used developments that:
 - a) are designed to be compatible with the residential uses above;
 - b) safeguard the provision and viability of business uses; and
 - c) provide floor plates that are appropriate for the use and high ceilings to ensure functionality and flexibility in accommodating a diverse range of uses in the future.
- O4. To incentivise the provision of underground commercial space by excluding it from gross floor area (GFA) in floor space ratio (FSR) calculations, while maintaining a balance of built form outcomes above ground.
- O5. To reduce tower bulk and scale by limiting upper-level floor plates, ensuring slender and well-articulated towers that minimise visual dominance and overshadowing.
- O6. To promote finer grain development by setting maximum building lengths, supporting architectural diversity, walkability, and a human-scale streetscapes.

Controls

- C1. Building design is to:
 - a) incorporate architectural features and facade articulation to reduce perceived building bulk;
 - b) reinforce building corners at intersections;
 - c) locate pedestrian entries on the primary street frontage that are visible and accessible from the street;
 - d) mitigate adverse impacts from activities causing noise and odour emissions, including machinery;
 - e) have a clear base, middle and top, through considered use of building materials, facade design and articulation;
 - f) have building facades that are modulated to respect prevailing character; and
 - g) restrict basements extending beyond the front building line to allow for deep soil planting.
- C2. Residential development, is to comply with Apartment Design Guide (ADG) and result in comfortable and enjoyable internal environments by:
 - a) meeting the required standards for residential development near busy roads;
 - b) ensuring buildings are designed to achieve internal noise levels under flight paths, adjacent busy roads and rail corridors and within special entertainment precincts by adhering the relevant Australian Standards and planning controls;

- c) using integrated design, construction techniques, and acoustic solutions to ameliorate negative impacts including but not limited to:
 - i. materials and glazing choices to provide a contextual design response;
 - ii. angled walls and modulated surfaces;
 - iii. solid balcony balustrades;
 - iv. screens, louvres and hopper windows;
 - d) obtaining approval from Sydney Airports and Civil Aviation Safety Authority (CASA) where built forms extend beyond the obstacle limitation surface (OLS);
 - e) incorporating light wells, atriums and internal articulation to enhance natural light and ventilation; and
 - f) retaining privacy and solar access for nearby residential development.
- C3. Design mixed use developments to reduce land use conflicts between ground floor commercial uses and residential uses above by:
- a) activating the street frontage;
 - b) providing suitably sized premises for a range of permissible uses and limit ground floor use for services, storage and other business needs, and where required locate these to the rear of the building; and
 - c) scaling and designing commercial premises to be flexible for future adaptation.
- C4. Commercial floor space below ground does not count towards the FSR of the site.
- C5. Maximum tower floor plates (namely floors above the podium or any part of the building above 8 storeys) for residential buildings are 800sq GBA.
- C6. Maximum building lengths are outlined in Table 1.

Table 1: Building length

Zone	Building length (m)
E1 Local Centre & MU1 Mixed use	40m
R4 High Density Residential	55m for podium 40m above street wall

3.2. Transitions to Sensitive Interfaces

Sensitive interfaces include development in R2 Zones, Heritage Items, and Heritage Conservation Areas.

Objectives

- O7. To ensure new development provides an appropriate transition in scale and form when located adjacent to low-density residential areas or heritage-sensitive sites.
- O8. To protect the amenity, privacy, and solar access of existing low-scale dwellings and heritage items.
- O9. To reinforce and respect the established character and built form of heritage conservation areas through sensitive design.
- O10. To ensure that the scale, bulk, and articulation of new development respond sympathetically to adjoining sensitive interfaces.

Controls

- C7. Development adjoining R2 Low Density or R1 General Residential zones, 1–2 storey dwellings, heritage-listed items, or Heritage Conservation Areas that are not expected to undergo redevelopment must:
 - a) provide a built form transition through stepping of building height;
 - b) modulate massing away from the interface; and
 - c) incorporate side setbacks and modulation to reduce visual bulk and improve privacy.

- C8. Building separation adjacent to sensitive interfaces must include a combination of:
- a) increased side setbacks; and
 - b) horizontal modulation, such as a reduced street wall height; and/or
 - c) vertical modulation, such as additional upper-level setbacks.
- C9. At sensitive side interfaces, the maximum street wall height must be 3 storeys for a minimum extent of 6m from the side boundary of the building.
- C10. Buildings in proximity to heritage items or within heritage conservation areas must be designed to respond to:
- d) street alignment and prevailing setbacks;
 - e) street wall height and articulation;
 - f) setbacks above the street wall;
 - g) façade detailing and rhythm; and
 - h) a bulk and scale that is sympathetic to the heritage context.

Note: A Heritage Impact Statement (HIS) may be required to demonstrate how the proposal appropriately addresses the interface with a heritage item or conservation area.

3.3. Low to Medium Rise Opportunity

Current planning controls allow for low and mid rise development across the LGA.

Objectives

- O11. To facilitate well-designed low and medium rise housing that increases housing choice and diversity.
- O12. To encourage lot amalgamation where it enables a coordinated built form, improved residential amenity and more efficient use of land.
- O13. To ensure development responds to the established and desired future scale and character of the street.
- O14. To provide high-quality landscaped areas that retain mature trees, increase tree canopy and provide meaningful deep soil planting.
- O15. To minimise the impact of increased density on adjoining low density residential development through appropriate building height, setbacks and separation.

Controls

- C11. Design low and medium rise housing generally in accordance with the built form principles shown in Figure 1..
- C12. Amalgamate adjoining lots where it results in better built form, landscape or access outcomes.
- C13. Avoid development that isolates adjoining lots or unreasonably limits their future redevelopment.
- C14. Orient buildings to address the street with clearly defined entries, windows and habitable rooms providing passive surveillance.
- C15. Locate parking, vehicle access and servicing to minimise visual prominence from the street and impacts on pedestrian amenity.
- C16. Provide building heights, setbacks and separation that:
- a) define and reinforce the street character;
 - b) provide an appropriate transition to adjoining lower scale development;
 - c) maintain reasonable solar access and privacy; and
 - d) provide space for deep soil planting and canopy trees.
- C17. Retain significant mature trees where practicable and provide deep soil and tree canopy consistent with the NSW Tree Canopy Guide for Low and Mid-Rise Housing.
- C18. Break up longer building forms through building separation, articulation and landscaping to reduce visual bulk and maintain the established rhythm of the streetscape.

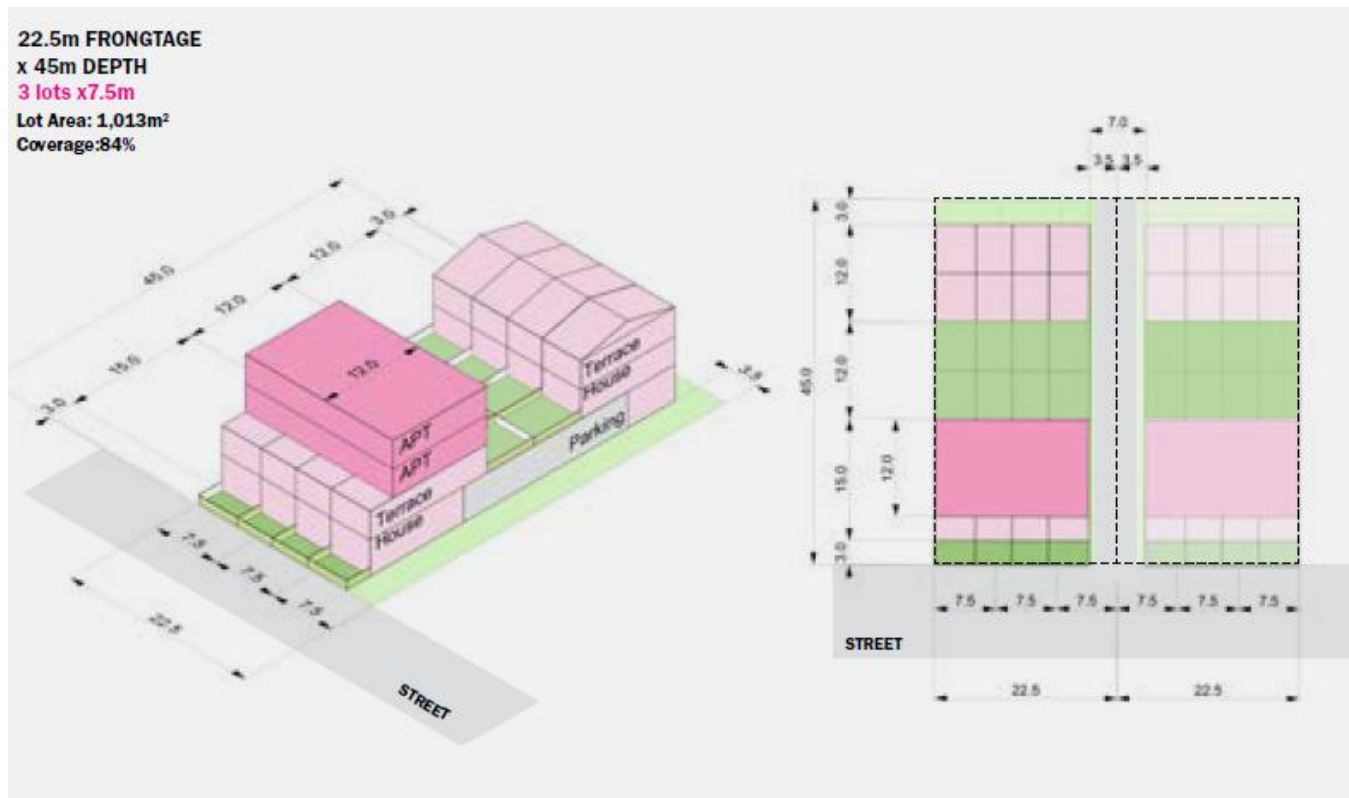


Figure 1: Indicative Low to Mid Rise Development

4. Place Specific Controls

4.1. Annandale Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls and site specific controls for Areas A, B, C, D, and E on Figure 2 below.

4.1.1. Site Specific Precincts

Additional site-specific controls apply to the precincts identified in the following list and Figure 2 below.

- 124-126 Johnston Street and 115-125 Booth Street Precinct apply to the land marked 'F'
- 148 Wigram Road apply to the land marked 'G'
- Booth Street and Nelson Street apply to the land marked 'H'

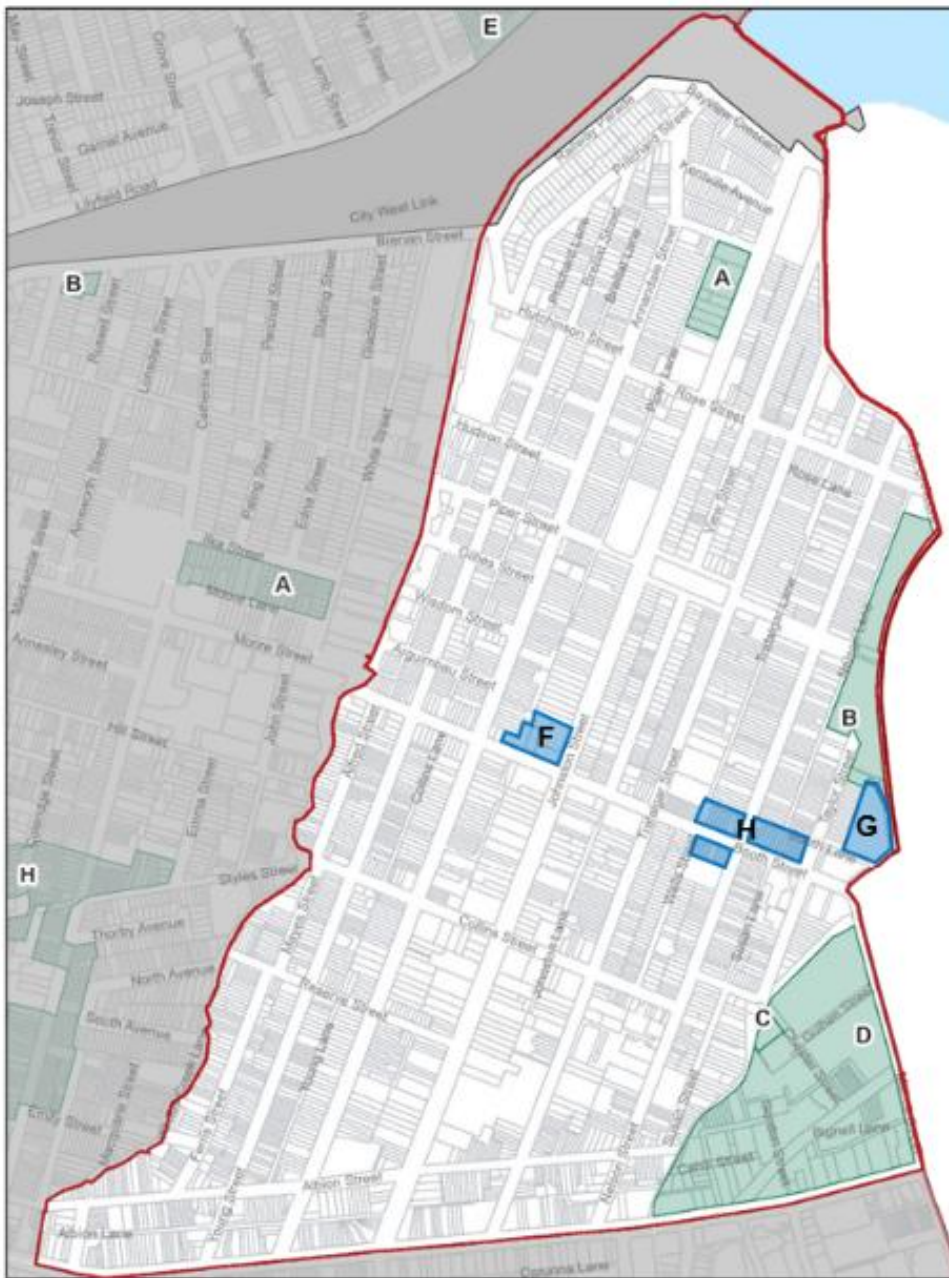


Figure 2: Annandale Neighbourhood – Site Specific Precincts

(F) Site 1: 124-126 Johnston Street and 115 Booth Street (Post Office) and Site 2: 119-121 Booth Street

General objectives and controls apply to Site 1 and Site 2, specific guidance applying to each site separately follows.

General Objectives

- O16. To ensure redevelopment responds appropriately to the heritage significance of the Post Office through considered building siting, scale, setbacks, materiality and architectural design.
- O17. To ensure a coordinated built form outcome across both development sites while allowing each site to be developed independently.
- O18. To retain mature trees and reinforce the landscape character of Johnston Street and Booth Street.
- O19. To provide an appropriate transition in building height and scale to adjoining residential development.
- O20. To achieve high-quality architectural design that minimises visual bulk and impacts on residential amenity.

General Controls

Heritage

- C19. Submit a Heritage Impact Statement demonstrating that the heritage significance and setting of the Post Office are retained. Incorporate any recommendations from the statement in the architectural design, siting, setbacks, materiality and scale of the development.
- C20. New buildings are to be visually subordinate to the heritage item when viewed from Johnston Street.

Tree Management

- C21. Submit evidence from a qualified arborist that demonstrates the building design, siting and intended construction methods will not adversely impact prescribed trees on site (prescribed trees are defined in the IWDCP 2026).

Built form

- C22. Development is to generally accord with the indicative layout and design principles shown in Figure 3.

Site 1: 124-126 Johnston Street and 115 Booth Street (Post Office)

Objectives

- O21. To protect the heritage significance of the Post Office and feature the building prominently in the redevelopment of the site.

Controls

- C23. The heritage-listed Annandale Post Office is to be retained and conserved, including significant external fabric, architectural features and elements that contribute to its heritage significance and presentation to Johnston Street.
- C24. Development fronting Johnston Street is to:
 - a) have a maximum 2-storey street wall, with no setback from the street boundary;
 - b) setback upper levels above the street wall by a minimum of 4m; and
 - c) ensure the height, scale, proportions and articulation of the street wall complement the scale and form of the Post Office facade without replicating its architectural detailing.
- C25. Setback development a minimum of 6m from the northern boundary.
- C26. Development on 124–126 Johnston Street may be built to the common boundary with the Post Office site to a maximum height of eight storeys, provided that the proposal can demonstrate that the heritage significance of the Post Office is not adversely affected.
- C27. Development to the rear of the Post Office on the western side shall be to a maximum four storeys and set back from Booth Street to the alignment of the Post Office building.

Site 2: 119-121 Booth Street

Objectives

- O22. To ensure development is compatible with the scale and character of adjoining heritage buildings and maintains the amenity of the surrounding residential neighbourhood.
- O23. To retain significant mature trees and provide an appropriate landscape setting.

Controls

- C28. Design the development in accordance with Figure 3.
- C29. Setback development at least 4.5m from Booth Street.
- C30. Development fronting Booth Street is to have a street wall height between two and four storeys.
- C31. Setback upper levels at least:
 - For the building addressing Johnston Street:
- C32. 6m from the Johnston Street facing street wall; and

- a) 6m from the northern podium edge.

For the building addressing Booth Street:

- b) Align the upper level setback with the northern facing rear side wall of the Post Office, as indicated on Figure 3.

- C33. Setback development at least 6m from rear and side boundaries. Setback further to retain significant trees where required.

- C34. Minimise overlooking and privacy impacts to surrounding dwellings through privacy screening, solid balustrades, lifted sill heights, obscured glazing and other design measures.

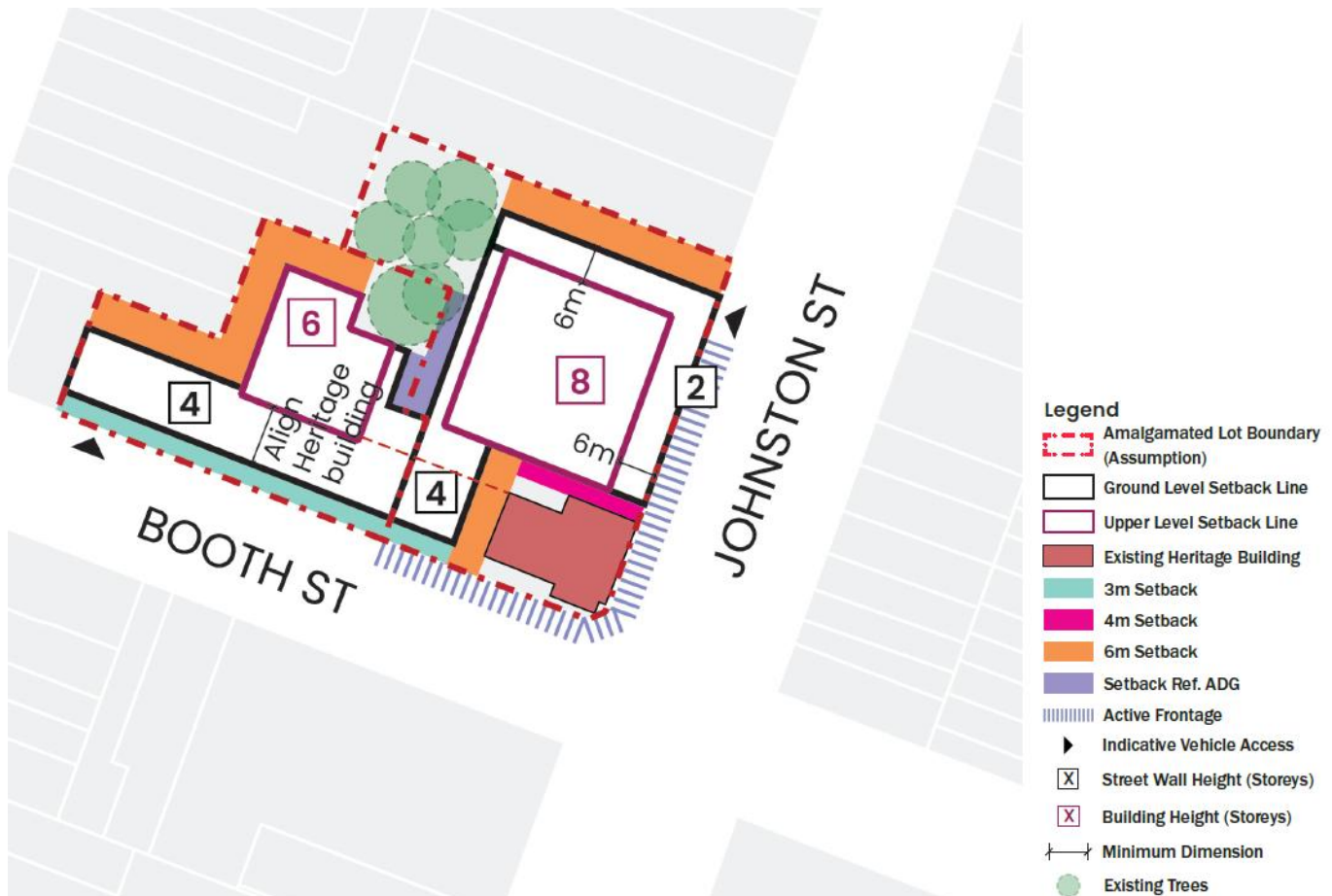


Figure 3: 124-126 Johnston Street and 115 Booth Street - Indicative Layout and Design Principles

(G) 148 Wigram Road

Objectives

- O24. To facilitate the redevelopment of 148 Wigram Road as a high-quality residential neighbourhood that contributes to housing diversity within the Annandale neighbourhood.
- O25. To create a high-quality interface with Johnston Creek, Wigram Road and Booth Lane through an attractive built form, landscaping and public domain improvements.
- O26. To strengthen the Johnston Creek green corridor by improving public access, increasing tree canopy and enhancing landscape character.
- O27. To provide a publicly accessible pedestrian connection along Johnston Creek linking Spindlers Park Playground with Wigram Road.
- O28. To provide an appropriate transition in building height and scale to adjoining low-density residential development, particularly along Taylor Street.

Controls

Built form

C35. Design development on the site in accordance with Figure 4s.

C36. Setback buildings as follows:

- a) At least 6m from the Johnston Creek boundary;
- b) At least 6m from the western boundary;
- c) At least 4m from Booth Lane.

C37. Within the Johnston Creek setback, the first 3m are to be dedicated to council or made publicly accessible for the provision of a shared pedestrian path and associated landscaping.

C38. Provide a maximum street wall height of four storeys.

C39. Setback upper levels at least 3m from the street wall.

Public domain

C40. Buildings are to address Johnston Creek, Wigram Road and Booth Lane with clearly defined entries, windows and passive surveillance.

C41. Development is to provide a publicly accessible pedestrian connection along Johnston Creek generally in the location shown in Figure 4.

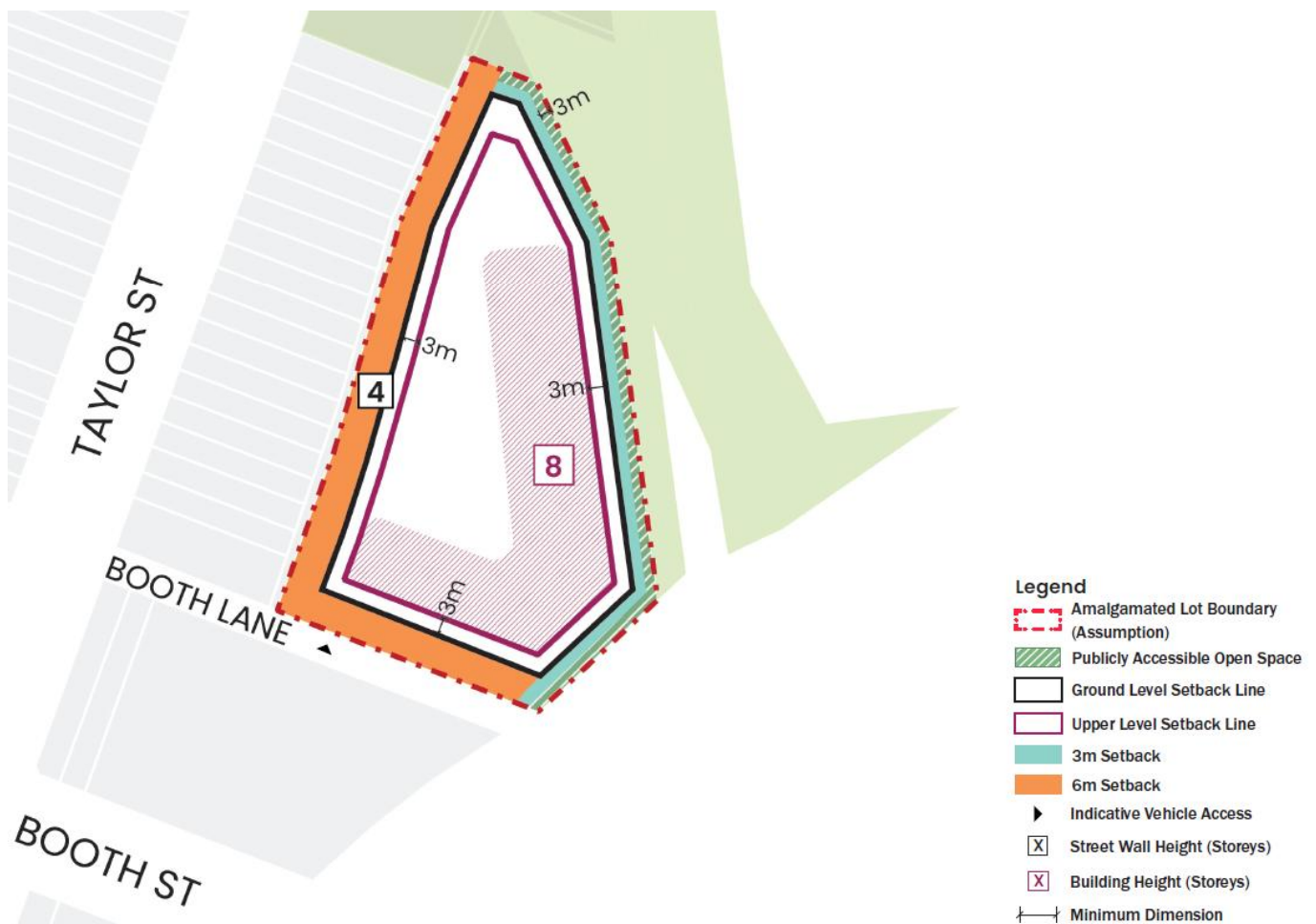


Figure 4: 148 Wigram Road – Indicative Layout and Design Principles

(H) Booth Street and Nelson Street

Objectives

- O29. To retain the fine-grain character of the Booth Street and Nelson Street intersection and ensure new development is compatible with the scale and character of the surrounding streetscape.
- O30. To retain contributory building facades and other elements that contribute to the historic character of the area.
- O31. To provide a built form that defines the street edge while maintaining an appropriate scale and transition to adjoining lower-scale residential development.
- O32. To provide active street frontages and maintain the amenity of the public domain.

Controls

- C42. Design development on the site in accordance with Figure 5.
- C43. Retain the principal street-facing facade of existing contributory buildings at 33A-53 Booth Street and 12-22 Booth Street to preserve the established street character, urban grain and rhythm.
- C44. Development may provide additional building height behind retained facades where the upper levels are setback from the street frontage in accordance with Figure 5.
- C45. Setback buildings between Nelson Street and Taylor Street at least 3m from the Booth Street frontage.
- C46. Provide street wall heights in accordance with Figure 5 up to a maximum of:
 - a) Two storeys for shop top housing developments; and
 - b) Three storeys for other types of residential accommodation.
- C47. Setback upper levels above the street wall in accordance with Figure 5.
- C48. Integrate new development at the intersection of Wells Street and Booth Street with the adjoining footpath levels.



Figure 5: Booth Street – Indicative Layout and Design Principles

4.2. Croydon and Iron Cove Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls. Sub-precinct controls below are in addition to the existing Croydon Neighbourhood controls in Section 4.7 of the IWDCP 2026.

4.2.1. Site Specific Precincts

(A) Croydon Centre North Precinct

Objectives

- O33. To expand and strengthen Croydon as a vibrant mixed use local centre that supports the growing community and makes efficient use of Croydon Station.
- O34. To maintain and enhance the existing character and identity of Croydon and promote business activity.
- O35. To concentrate higher density development close to Croydon Station while ensuring appropriate transitions to adjoining residential neighbourhoods and heritage conservation areas.
- O36. To retain identified heritage values and ensure that new development within the precinct is of a design, scale, finish, and height including parapet and facade heights which complement the Edwin Street Heritage Conservation Area (C39).
- O37. To improve safety through good design, active shopfronts and high-quality pedestrian environments.
- O38. To ensure commercial premises have sufficient area for the range of permissible commercial uses.
- O39. To encourage retention or reconstruction of awnings characteristic of the area.
- O40. To improve pedestrian connectivity between Croydon Station, Paisley Road, Edwin Street and surrounding residential neighbourhoods.

Controls

Ground level commercial floor space

- C49. Provide ground level commercial premises with a minimum gross floor area of 60sqm or 50% of the site area, whichever is greater.

Built form

- C50. Comply with Figure 6 for upper level built form and landscaping controls.
- C51. Maximise separation from adjoining residential properties to protect amenity.
- C52. Position windows and balconies to provide passive surveillance for the street.
- C53. Provide deep soil areas for tall tree planting on sites shown in Figure 6 to create screening and buffer zones for neighbouring properties.
- C54. Step down building scale at the rear of sites opposite or next to R2 Low Density Residential areas.
- C55. Design rear development and laneway interfaces to provide surveillance from apartments and entry lobbies.



Figure 6: Required placement of upper levels of new buildings and landscape buffers

Building facades

C56. Design new development to reflect historic building typology by:

- Incorporating elements that reflect local character such as roofs, parapets, balconies, window patterns, facade proportions, and detailing.
- Taking architectural cues from adjacent original buildings where relevant.

C57. Design facades to reflect the precinct's character by:

- Maintaining vertical proportions and widths similar to historic terrace buildings when consolidating sites.
- Using vertical and horizontal elements such as piers, panels, line changes, string courses, cornices, and bays.
- Dividing commercial fronts into bays that suit the building scale and are vertically expressed in widths that align with local character.

C58. Design additions to existing facades to relate to the form and character of the original building. Alterations are to mirror the detailing of the original structure.

C59. Use building materials compatible with predominant materials in the area.

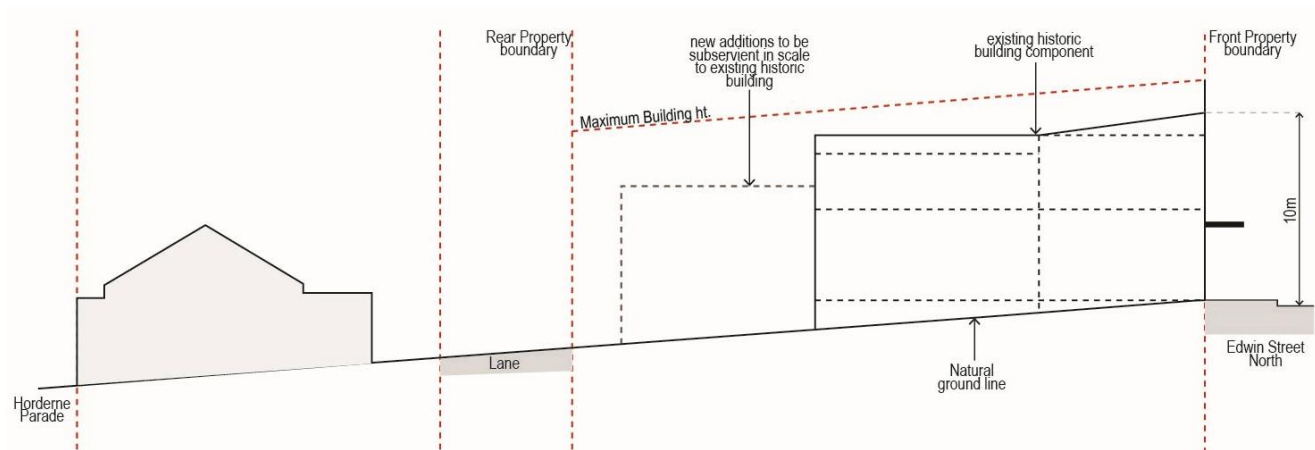


Figure 7: Principles for sites adjacent to dwellings

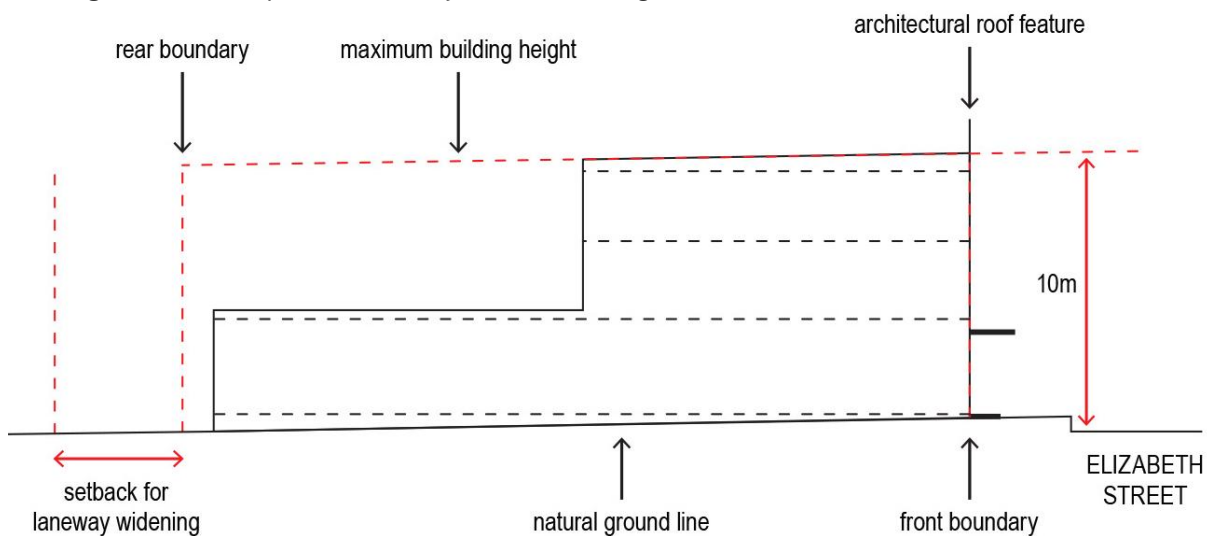


Figure 8: Principles for sites adjacent to laneway

Awnings

- C60. Include awnings where adjoining buildings have awnings or where traditional awnings exist on the site.
- C61. Match awning height, width, form, and materials to existing or adjacent traditional awnings.

(B) Croydon Centre South Precinct

Objectives

- O41. To facilitate the expansion of Croydon Centre South as a vibrant mixed-use precinct that supports the growing local population and reinforces Croydon Station as a neighbourhood activity hub.
- O42. To encourage higher density mixed use and residential development adjacent to Croydon Station and along Paisley Road to support public transport use, walking and cycling.
- O43. To provide a transition in building scale from the station precinct to adjoining low density residential neighbourhoods and heritage conservation areas.
- O44. To retain and protect the significance, setting and streetscape character of adjoining heritage conservation areas and heritage items.
- O45. To ensure new development contributes to a high-quality public domain through active street frontages, landscaping, tree planting and improved pedestrian connections.
- O46. To maintain and enhance the established landscape character of Edwin Street and Highway Avenue, including generous tree canopy and landscaped setbacks adjoining heritage areas.

Controls

Ground level commercial floor space

- C62. Ground floor development fronting Paisley Road and Edwin Street is to provide active commercial or retail frontages.

Built Form

- C63. Transition development adjoining heritage conservation areas with appropriate building height, scale, setbacks and architectural character.
- C64. Minimise visual bulk of buildings through articulation, upper-level setbacks and modulation.
- C65. Maximise solar access, natural ventilation and privacy for adjoining development.

(C) Iron Cove Creek Precinct

Objectives

- O47. To revitalise Iron Cove Creek with public access to the creek corridor and enable reconnection to Country.
- O48. To provide a continuous landscaped, active transport corridor, and a new public park fronting Iron Cove Creek that is complemented by tree canopy and landscaped areas within private development to create an enhanced, more naturalised environment and connected habitat for wildlife.
- O49. To provide convenience to residents with new commercial space at the corner of Croydon Road and John Street.

Controls

Built form

- C66. Building massing and scale is to minimise impacts to existing residential uses and character along Croydon Road and John Street.
- C67. Built forms, setbacks, heights and landscaping public domain are to generally align with principles shown in Figure 9.
- C68. Buildings are to provide a maximum three-storey street wall where identified in Figure 9.
- C69. Development is to provide publicly accessible pedestrian connections between Etonville Parade and surrounding streets as identified in Figure 9.
- C70. Pedestrian links are to be landscaped, clearly visible and designed to provide safe, direct and accessible connections through the precinct.
- C71. Building height and massing are to transition appropriately to adjoining lower-scale residential development.

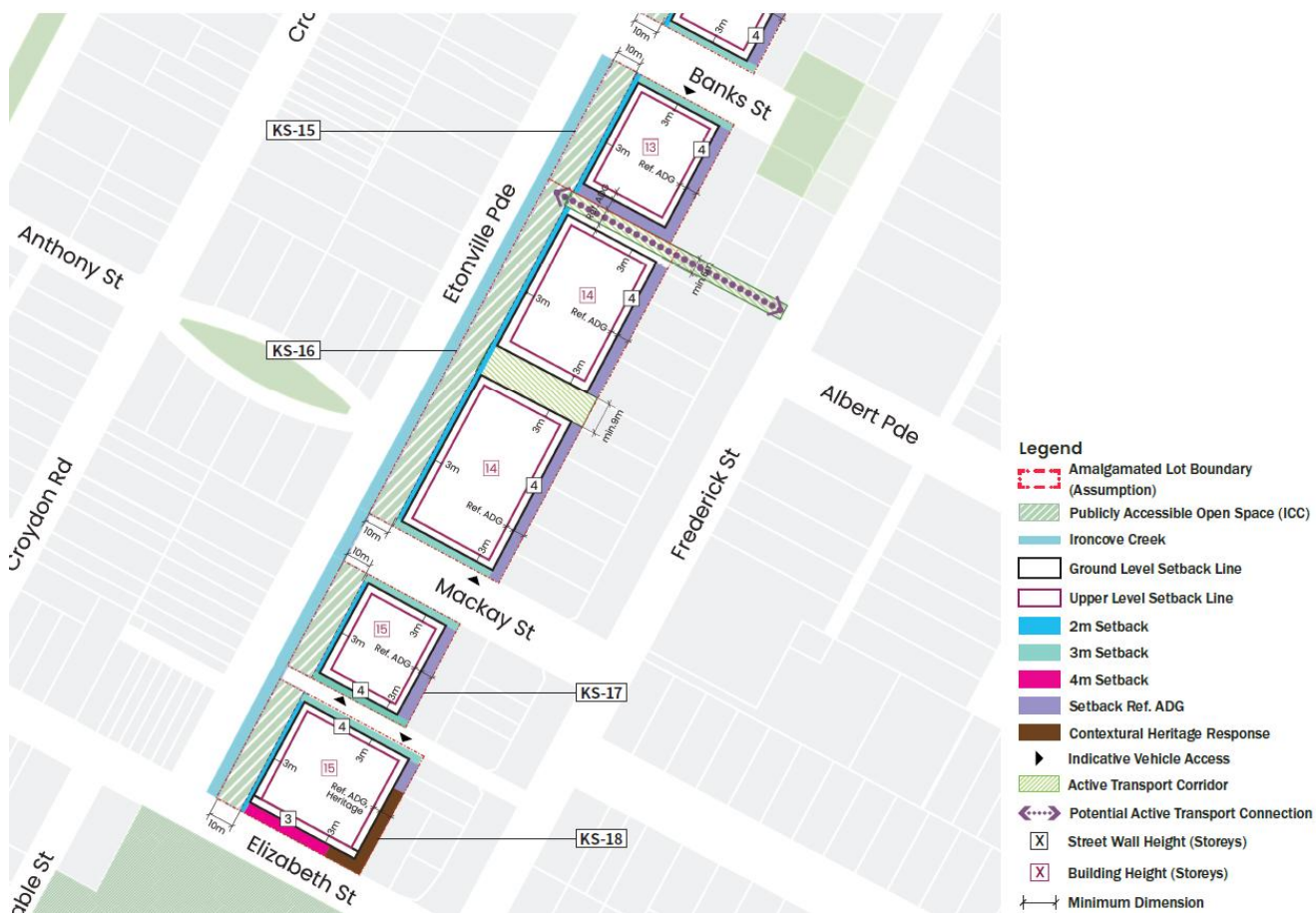


Figure 9: Iron Cove Creek - Indicative Layout and Design Principles

4.3. Balmain Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B and C on Figure 10 below.

4.3.1. Site Specific Precincts

- 2-4 Laggan Avenue, 101-103 and 105 Elliot Street, Balmain apply to the land marked 'D'

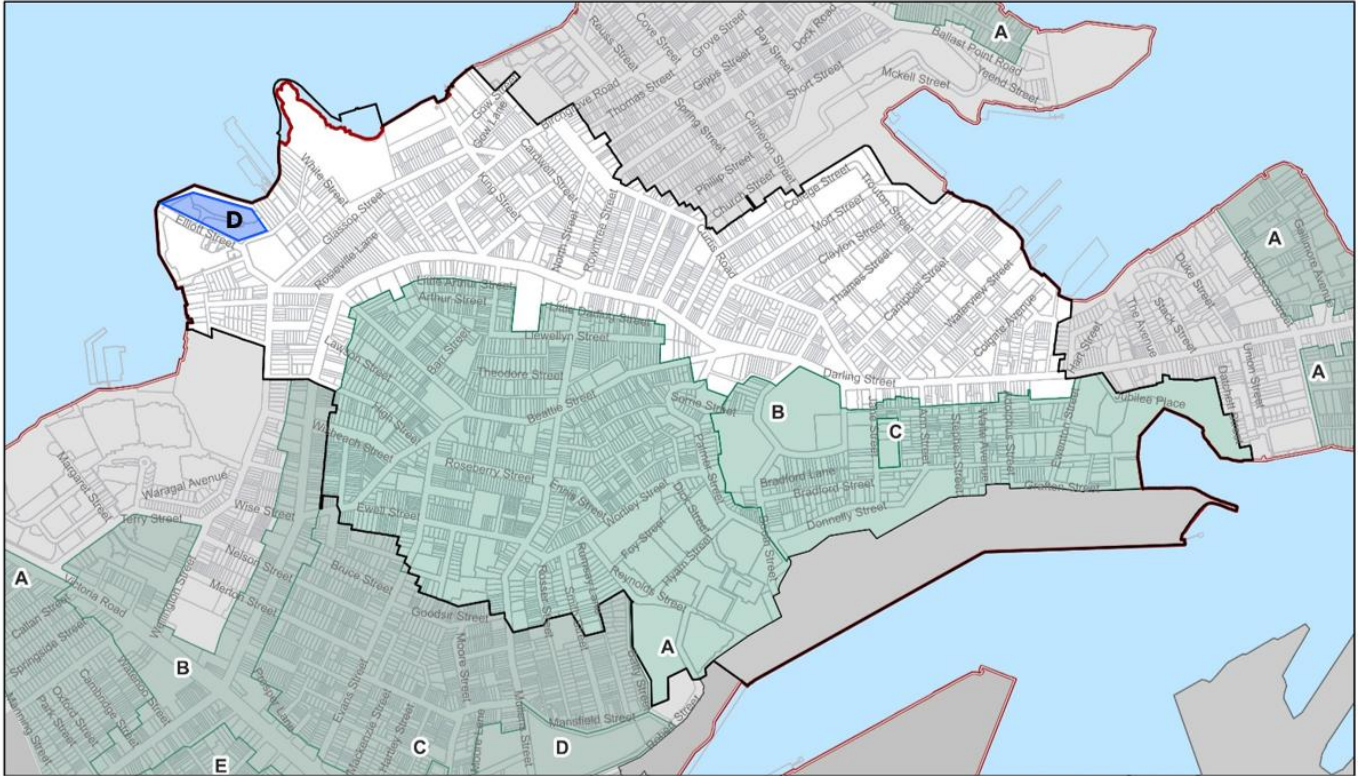


Figure 10: Balmain Neighbourhood – Site Specific Precincts

(D) - 2-4 Laggan Avenue, 101-103 and 105 Elliot Street, Balmain

Objectives

- O50. To ensure development responds appropriately to the waterfront through considered building siting, scale, setbacks, road layout and pedestrian through link and architectural design.

Controls

- C72. Design built forms to step down towards the harbour foreshore, responding to the falling topography.
- C73. Provide a visual sightline and 8.5m wide connection from Elliott Street to the foreshore through clear building separation.
- C74. Design development on the site including setbacks, street wall heights, upper level setbacks, and the through site link in accordance with Figure 11.



Figure 11: 2-4 Laggan Avenue, 101-103 and 105 Elliot Street, Balmain - Additional controls

4.4. Dulwich Hill Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B and C on Figure 12 below.

4.4.1. Site Specific Precincts

The Dulwich Hill Village site specific precinct 'C' has been amended to include land in Beach Road, Durham Street, Loftus Street and Hercules Street as marked as 'C1' in Figure 12 below.

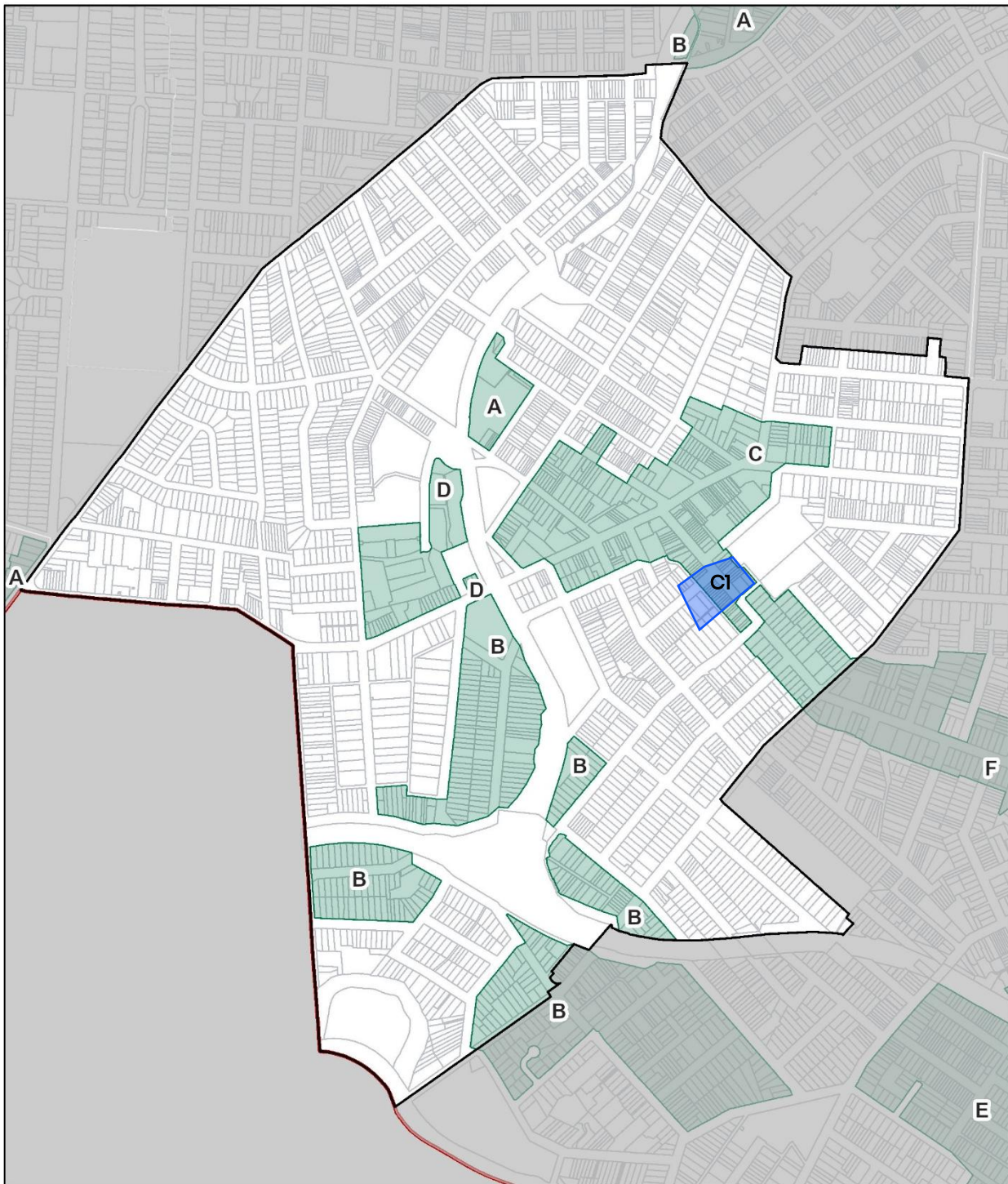


Figure 12: Dulwich Hill Neighbourhood – Site Specific Precincts

(C) Dulwich Hill Village

Objectives

- O51. To ensure new development delivers a coherent built form and reinforces the desired future character of New Canterbury Road, Marrickville Road and Seaview Street.
- O52. To enhance pedestrian and cycling connections and provide high-quality, accessible public spaces throughout the village.
- O53. To facilitate a vibrant mixed-use village with active street frontages and opportunities for community facilities and affordable commercial space.
- O54. To ensure redevelopment of the Seaview Street car park delivers significant public benefits, including a new public plaza, community facilities, affordable commercial space and improved active transport connections, while protecting solar access to the adjoining school.
- O55. To ensure development provides an appropriate transition to surrounding low-density residential areas and responds to local heritage character.

(C1) Additional Controls – 14-16 and 17-25 Loftus Street, 1-23 Durham Street, 1-5 Hercules Street and 9-19 Beach Road Transition Area

Objectives

- O56. To facilitate increased housing close to the Dulwich Grove light rail stop and the New Canterbury Road and Marrickville Road centres.
- O57. To ensure increased housing provides an appropriate transition to adjoining low-scale residential areas through building height, setbacks, landscaping and built form.

Controls

- C75. Setback buildings at least 3m from street frontages.
- C76. Provide a maximum street wall height of three storeys.
- C77. Setback upper levels at least 3m from the street wall.
- C78. Development is to provide an appropriate transition in building height, scale and massing to surrounding low-scale residential areas.
- C79. Street setbacks are to incorporate landscaping, deep soil planting and canopy trees to provide an attractive residential frontage.

4.5. Leichhardt Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B, C, D, E, F, and G in Figure 13 below.

4.5.1. Site Specific Precincts

Additional site-specific controls apply to the precincts identified in the following list and Figure 13 below.

- 7 Darley Road Leichhardt apply to the land marked 'H'
- 237 Marion St, Leichhardt apply to the land marked 'I'
- Darley and Lyle Streets Precinct apply to the land marked 'J'

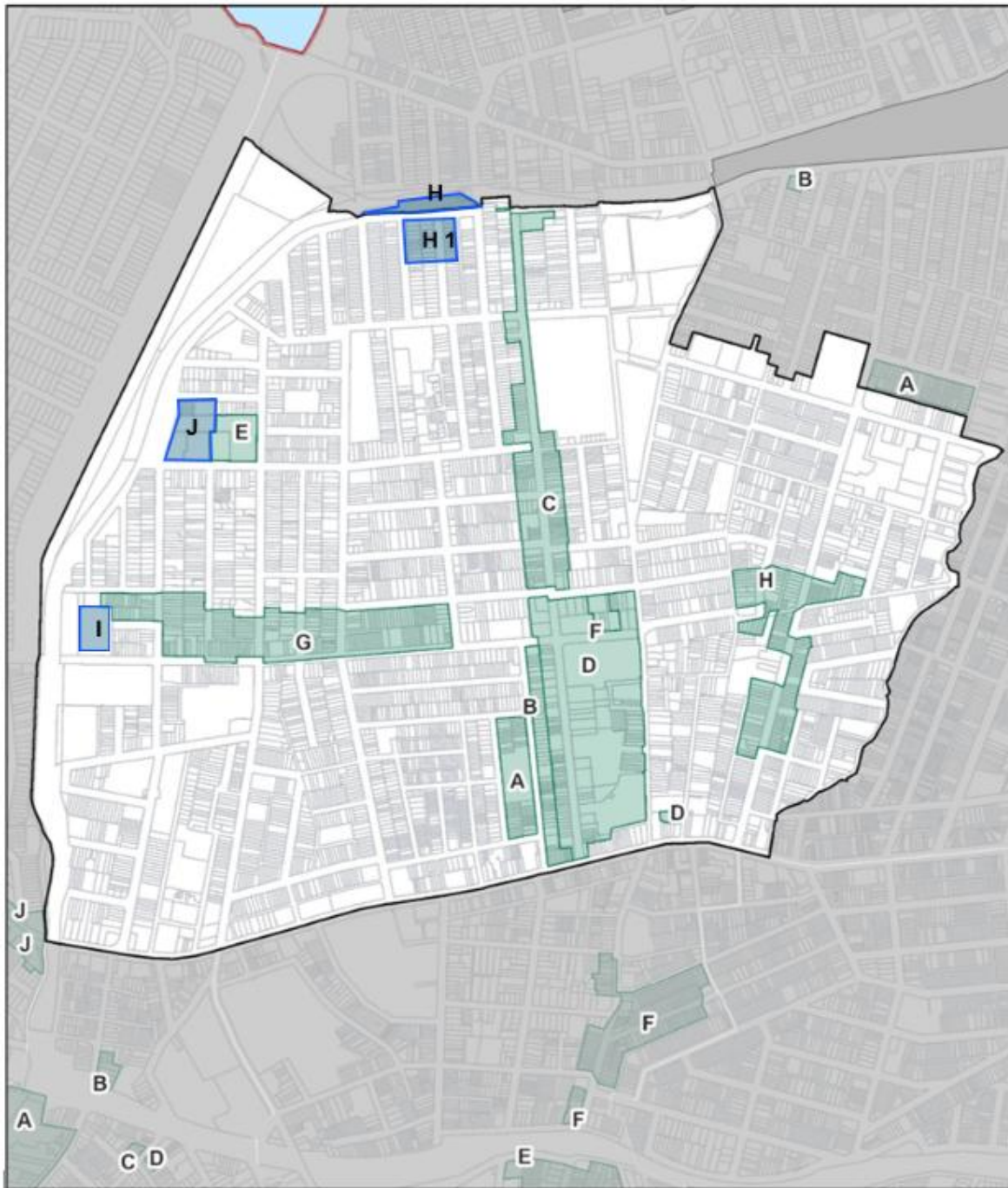


Figure 13: Leichhardt Neighbourhood – Site Specific Precincts

(H) 7 Darley Road, Leichhardt

Objectives

- O58. To ensure a high-quality mixed-use development that leverages the site's prominent location adjacent to public transport.
- O59. To activate Darley Road so that it contributes to the vitality and safety of the public domain and provides convenience to local residents.
- O60. To establish a direct, publicly accessible pedestrian and cyclist connection through the site between Darley Road, Francis Street and the Leichhardt North Light Rail stop.
- O61. To retain and enhance significant mature trees and increase urban tree canopy across the site.
- O62. To provide a built form that minimises visual bulk through podium and tower articulation while protecting the amenity of adjoining development.
- O63. To create new publicly accessible open space and improve access to the light rail station.

Stage 2 Housing Investigation Areas

- O64. To ensure vehicle access, servicing and loading are integrated into the development without compromising pedestrian safety or the quality of the public domain.
- O65. To maintain north south visual sight lines aligning with Francis Street.

Controls

Land Use

- C80. Provide an active frontage with commercial premises along Darley Road.

Built Form

- C81. Design development on the site in accordance with Figure 14.
- C82. The podium is to define the Darley Road street edge and provide an appropriate transition to adjoining development.
- C83. The podium/street wall height is to be a maximum of three storeys, consistent with Figure 14.
- C84. Development above the podium/street wall to be setback:
- a) 3m on the western side;
 - b) 2m on the northern and eastern sides; and
 - c) 0m or nil along Darley Road.

Public open space and landscaping

- C85. Provide at least 540sqm of publicly accessible open space in the location shown in Figure 14.
- C86. The public open space is to:
- a) provide a direct pedestrian connection through the site between Darley Road, Francis Street and the Leichhardt North Light Rail stop,
 - b) be designed as an integrated extension of the public domain,
 - c) include high quality paving, landscaping, seating, lighting and wayfinding,
 - d) retain mature trees,
 - e) be universal accessible, and
 - f) remain publicly accessible at all times.

(H1) Additional Controls - Hubert Street and Francis Street

O66. To provide a clear north–south visual corridor along Francis Street towards Darley Road and through the 7 Darley Road site.

O67. To provide well-proportioned residential buildings that maximise dual-aspect apartments, natural ventilation and residential amenity.

O68. To manage the cumulative overshadowing impacts of development south of Darley Road and future development at 7 Darley Road.

- C87. Design development on the site in accordance with Figure 15.
- C88. Buildings are to have a maximum building depth of 16m to facilitate dual-aspect apartments, natural ventilation and solar access.
- C89. Setback buildings as follows:
 - a) 3m on the eastern side of Hubert Street and western side of Francis Street;
 - b) 5m on the eastern side of Francis Street; and
 - c) 3m on the western side of the lane between Francis Street and James Street.
- C90. Provide maximum street wall heights of four storeys.
- C91. Setback upper levels at least 3m from the street wall.
- C92. Site planning and building placement along Francis Street are to maintain a clear north–south visual corridor towards Darley Road and through the 7 Darley Road site.
- C93. Development applications are to demonstrate that overshadowing from cumulative development, including from 7 Darley Road, results in future surrounding developments being able to achieve solar access requirements under the ADG.

- C94. Buildings are to be articulated and separated to avoid a continuous, visually unappealing wall of development along Darley Road and maintain views and visual permeability between buildings.

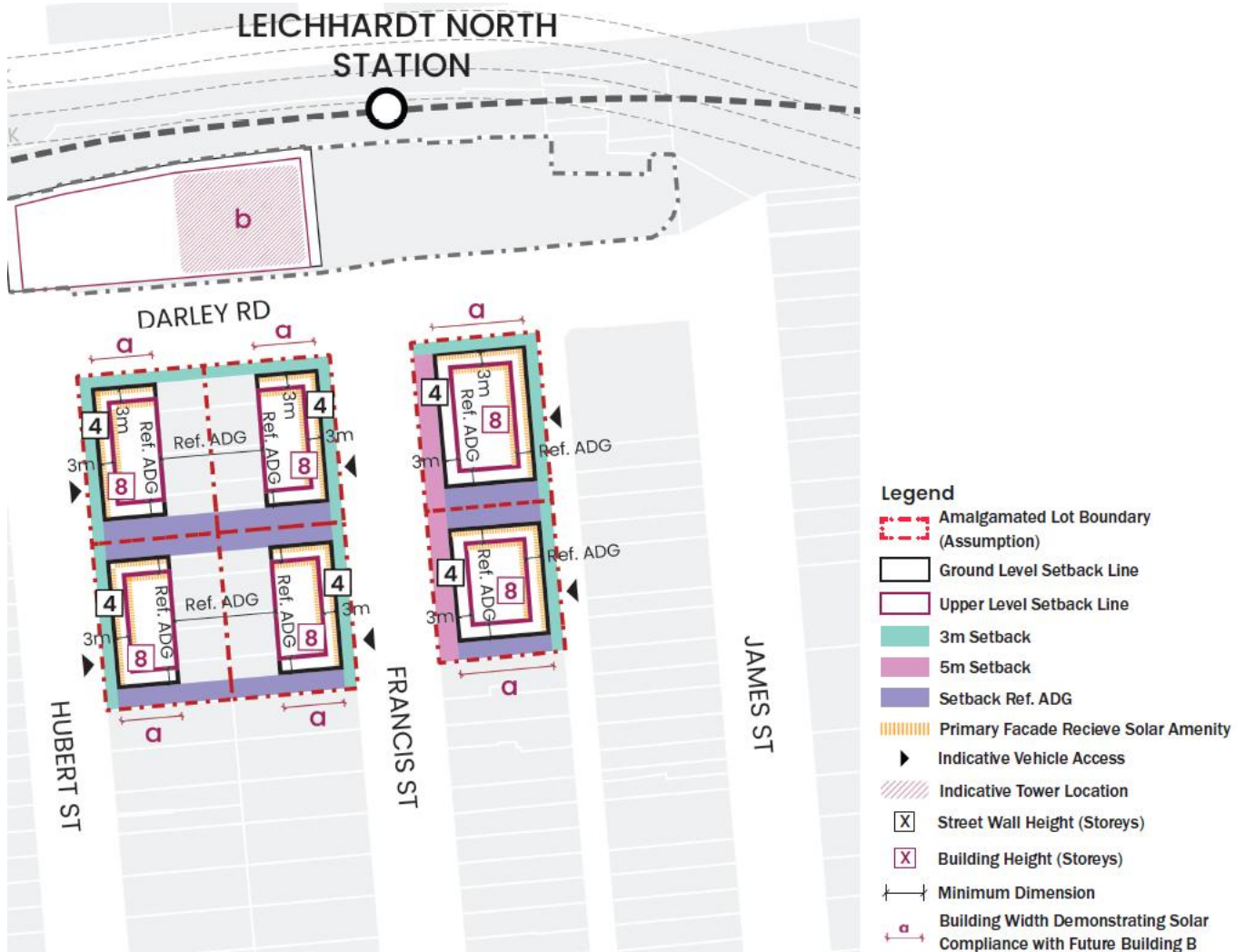


Figure 15: Hubert and Francis Street planning requirements

(I) 237 Marion St, Leichhardt

Objectives

- O69. To establish a direct, publicly accessible pedestrian and cyclist connection between Hawthorne Street and the Marion Light Rail stop.
- O70. To provide a high-quality public domain that integrates with the through-site link and enhances pedestrian amenity.
- O71. To ensure the built form responds appropriately to Marion Street, Hawthorn Street, Walter Street and adjoining residential development through appropriate building height transitions and setbacks.
- O72. To achieve a high standard of architectural design that minimises visual bulk through podium and tower forms.
- O73. To provide attractive communal open space and landscaping that contributes to the amenity of residents and the surrounding neighbourhood.
- O74. To ensure development promotes walking, cycling and public transport use by prioritising pedestrians and active transport.

Controls

Built Form

- C95. Design development on the site in accordance with Figure 16.
- C96. Limit podium/street wall heights to four storeys.

C97. Podiums/street walls are to be setback:

- 3m from Marion Street and the through site link running east west through the centre of the site; and
- As indicated in Figure 16.

C98. Setback towers above podiums:

- 3m from Marion Street; and
- As otherwise indicated in Figure 16.

Public Domain

C99. Provide a publicly accessible pedestrian and cyclist connection between Hawthorne Street and the Marion Light Rail stop with a minimum width of 6m in accordance with Figure 16.

C100. The public domain is to incorporate landscaping, seating, lighting, bicycle parking, universal accessibility and wayfinding.

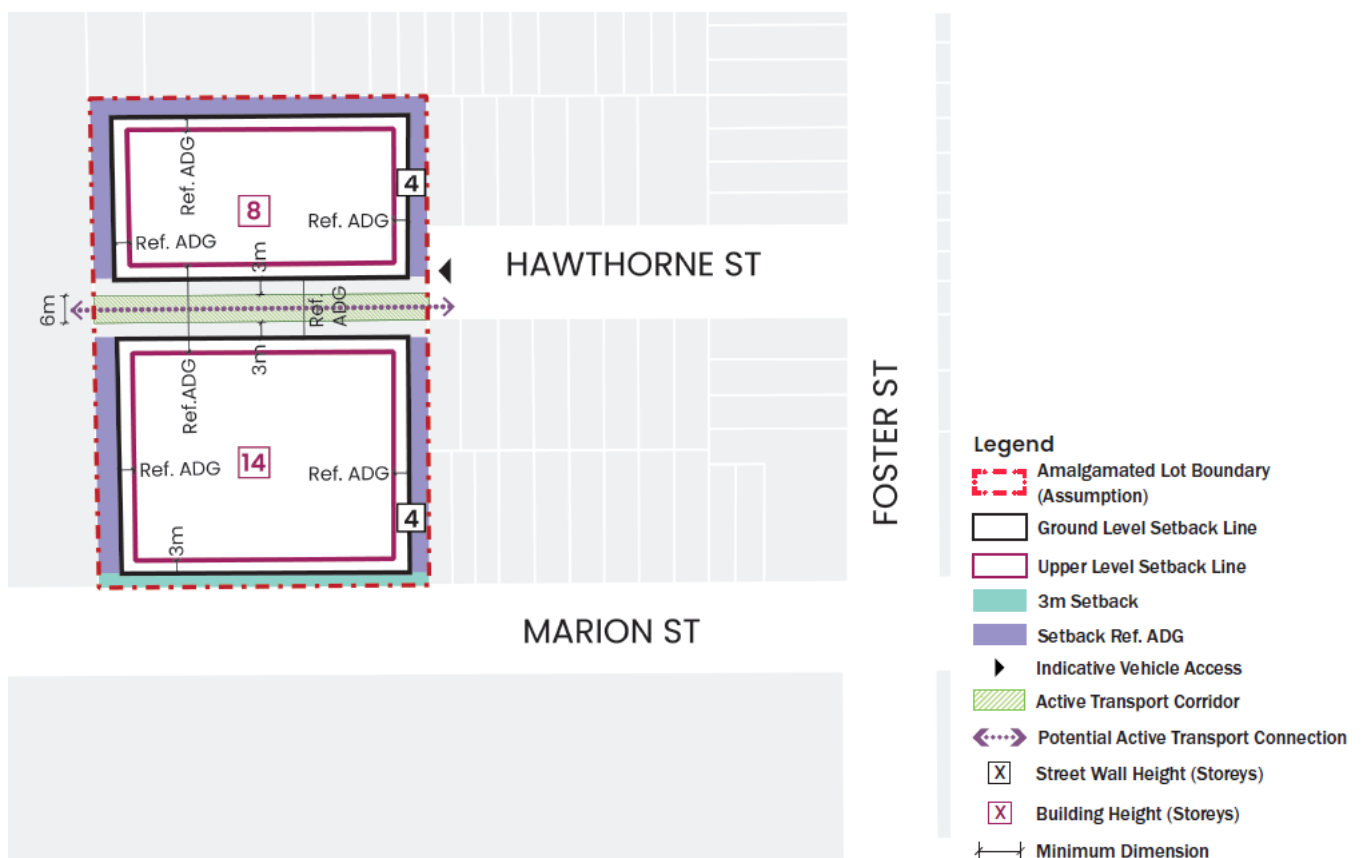


Figure 16: Marion Street Indicative Layout and Design Principles.

(J) Darley Road and Lyle Streets Precinct

Objectives

- To ensure new development responds appropriately to the Hawthorne Light rail stop to the west and delivers a coherent built form along Allen, Darley and Lyall Streets, and responds to the future character of the surrounding area.
- To ensure that buildings have adequate separation to minimise visual bulk and to ensure adequate amenity within the site.

Controls

Built Form

C101. Design development on the site in accordance with Figure 17.

C102. Setback buildings at least 3m from all street frontages.

C103. Provide a maximum street wall / podium height of four storeys.

C104. Setback upper levels above the street wall / podium by at least the following, unless otherwise required in Figure 17:

- 6m from Allen Street;
- 6m from the southern side boundary frontage near Allen Street; and
- 3m elsewhere.

C105. All buildings are to be integrated with the scale and character of the surrounding neighbourhood.

C106. Development is to provide an appropriate transition in height and built form between Lyall and Allen Street and the surrounding residential streets through building setbacks, upper-level setbacks and building articulation.

C107. Built form should provide lower heights within the central area of each amalgamated site to ensure required solar access to the buildings to the south.

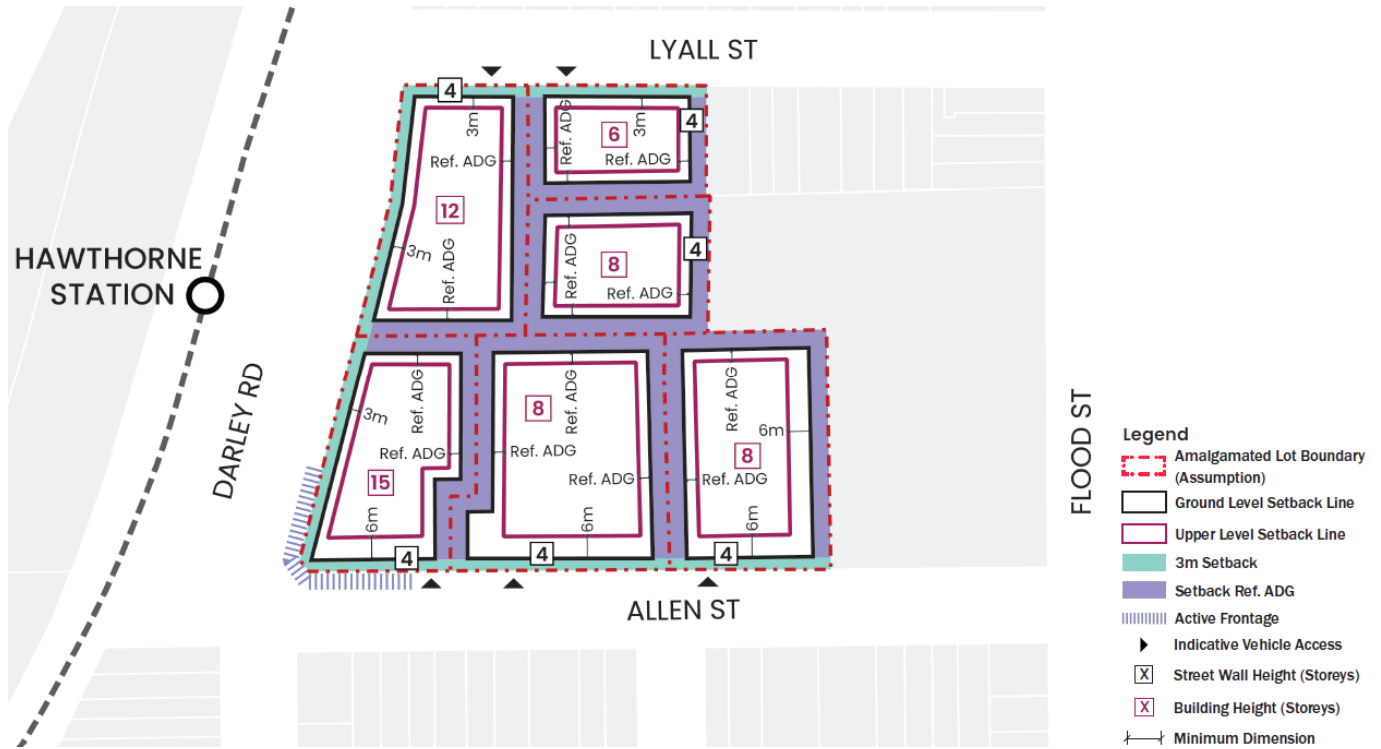


Figure 17: Darcey and Lyall Streets - Indicative Layout and Design Principles.

4.6. Lilyfield Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A and B in Figure 18.

4.6.1. Site Specific precincts

Additional site-specific controls apply to the precincts identified in the following list and Figure 18 below.

- 73 White Street to the land marked as 'C'.
- 9-15 White Street to the land marked as 'D'.
- Balmain Road sites to the land marked as 'E'.
- 1-11 Edward Street, 3 Helena Street, and 111 Lilyfield Road marked as 'F'.

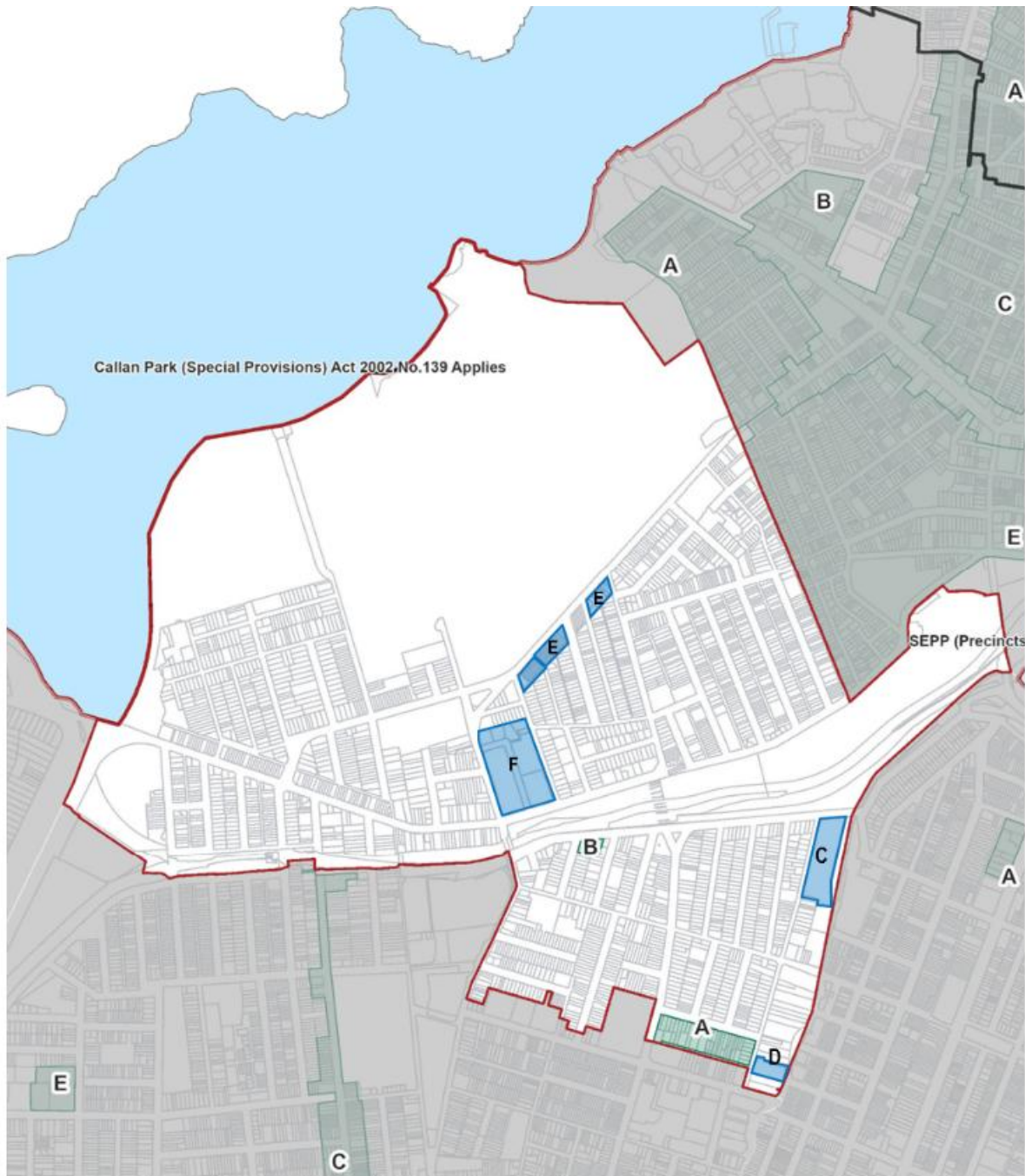


Figure 18: Lilyfield Neighbourhood – Site Specific Areas

(C) 73 White Street, Lilyfield

Objectives

- O77. To facilitate the redevelopment of 73 White Street as a high-quality residential development that contributes to housing diversity within the Lilyfield neighbourhood.
- O78. To create an attractive and safe interface with White Street, Brennan Street and Whites Creek through high-quality urban design and landscaping.
- O79. To improve pedestrian and cyclist connectivity between White Street, Brennan Street, the Whites Creek corridor and the surrounding active transport network.
- O80. To protect and enhance the existing mature tree canopy and landscape character of White Street and Whites Creek.
- O81. To provide an appropriate built form that responds to the adjoining public open space, existing residential development and the Whites Creek corridor.

Stage 2 Housing Investigation Areas

- O82. To ensure development contributes to the expansion of the public domain through setbacks, landscaping and active transport infrastructure.
- O83. To achieve a high-quality residential environment with solar access, outlook, privacy and communal open space.

Controls

Built form

- C108. Design development on the site in accordance with Figure 19.
- C109. Setback buildings 3m from White Street and Brennan Street, and 4m from the Whites Creek boundary as shown in Figure 19, to:
- a) strengthen the landscape character of the Whites Creek corridor;
 - b) facilitate widening of the shared pedestrian and cycle path;
 - c) maximise retention of mature trees; and
 - d) provide additional deep soil planting.
- C110. Street wall heights are to be a maximum of four storeys.
- C111. Setback upper levels above the street wall by at least 3m.
- C112. Development is to respond to White Street, Brennan Street, Whites Creek and adjoining residential development through considered building articulation, modulation and high-quality architectural design.
- C113. Retain mature trees along White Street and within the southern portion of the site. Replacement planting is to contribute to the long-term tree canopy.

Public domain

- C114. Buildings are to address White Street, Brennan Street and Whites Creek through clearly defined entrances, windows and passive surveillance of the public domain.
- C115. Provide a pedestrian connection between White Street and Whites Creek, in accordance with Figure 19.

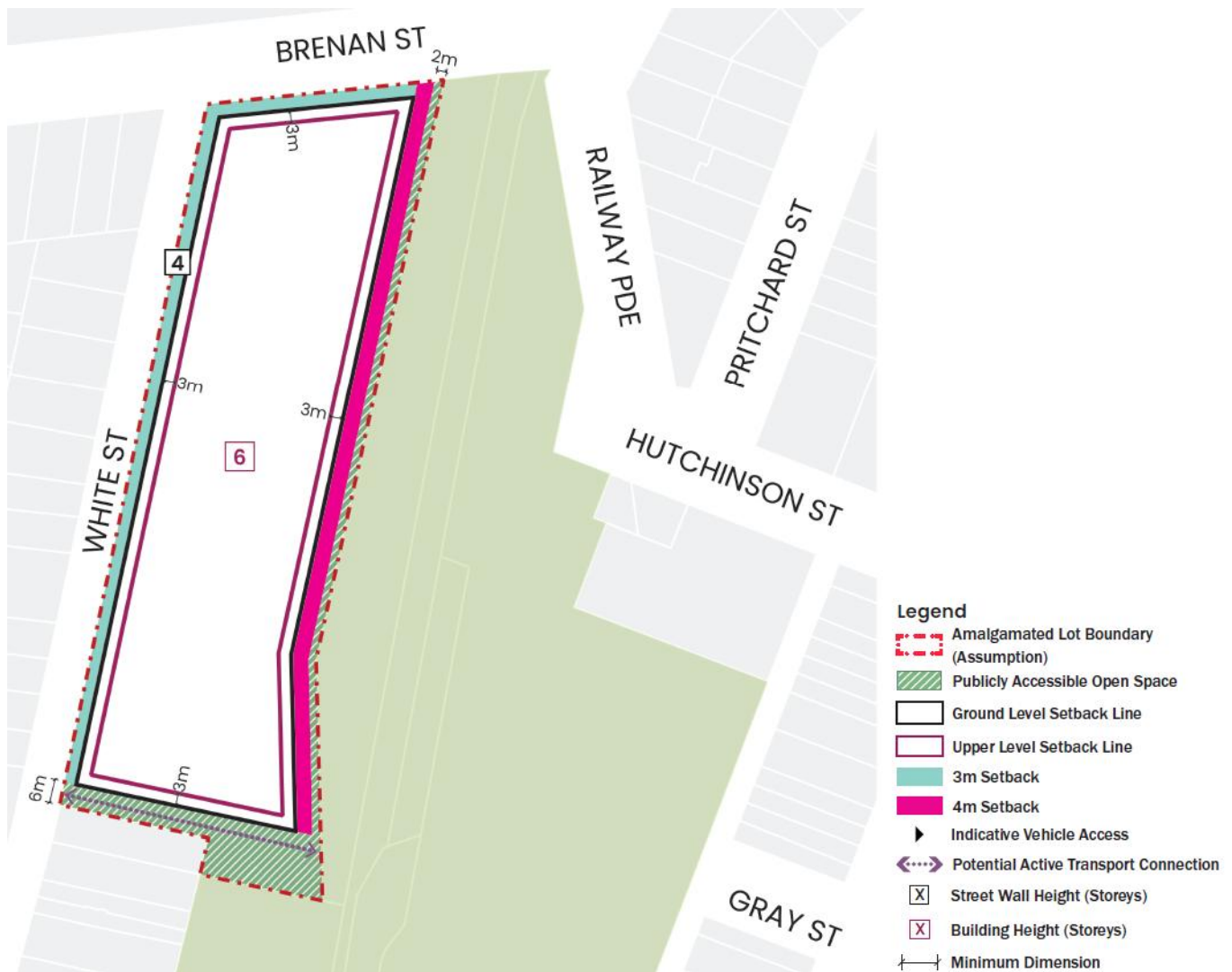


Figure 19: 73 White Street - Indicative Layout and Design Principles

(D) 9-15 White Street, Lilyfield

Objectives

- O84. To facilitate the redevelopment of 9–15 White Street for a high-quality residential development that contributes to housing diversity within the Lilyfield precinct.
- O85. To create an attractive and activated frontage on White Street while improving the interface with Whites Creek Lane and adjoining public open space.
- O86. To provide a built form that responds to the surrounding neighbourhood through appropriate street wall heights, upper-level setbacks and well-articulated building forms.
- O87. To improve the public domain through landscaping, widened footpaths and enhanced pedestrian amenity.
- O88. To integrate stormwater and overland flow management into the site design while protecting the drainage function and environmental values of Whites Creek.

Controls

Built form

- C116. Design development on the site in accordance with Figure 20.
- C117. Setback buildings in accordance with Figure 20.
- C118. Setback from White Street by at least 3m to facilitate footpath widening, landscaping and retention of mature street trees.
- C119. Provide a maximum street wall height of three storeys.

- C120. Setback upper levels at least 3m from the eastern, southern and western street walls.
- C121. Provide two building forms in accordance with Figure 20, to maintain visual separation, improve solar access and reduce perceived bulk.
- C122. Buildings are to provide a high-quality architectural response through articulation, varied materials and well-defined entries addressing White Street and Whites Creek Lane.
- C123. Landscape setbacks adjoining Whites Creek Lane to strengthen the interface with the Whites Creek corridor and provide opportunities for additional tree planting.

Public domain

- C124. Buildings are to address White Street and Whites Creek Lane through clearly defined entries, windows and passive surveillance.
- C125. Development is to address White Street with visible building entrances, communal open space and windows to habitable rooms.
- C126. Provide a pedestrian connection between White Street and Whites Creek Lane, in accordance with Figure 20.
- C127. Development is to incorporate stormwater and overland flow management into the site layout and landscape design to maintain the drainage function of Whites Creek and avoid adverse impacts on adjoining land and the public domain.



Figure 20: 9-15 White Street - Indicative Layout and Design Principles

(E) Balmain Road, Lilyfield

Objectives

- O89. To provide a consistent residential built form that responds to the scale and character of Balmain Road and adjoining residential areas.
- O90. To minimise the visual bulk of upper-level development through appropriate street wall heights and setbacks.

Controls

- C128. Design development on the site in accordance with Figure 21.
- C129. Setback buildings at least 3m from all street and lane frontages.
- C130. Provide a maximum street wall height of three storeys.
- C131. Setback upper levels at least 3m from street walls.



Figure 21: Balmain Road – Indicative Layout and Design Principles

(F) 1-11 Edward Street, 3 Helena Street, 111 Lilyfield Road, Lilyfield

Objectives

- O91. To provide a coordinated built form that defines Lilyfield Road, Balmain Road and Helena Street while maintaining appropriate building separation and residential amenity.
- O92. To provide a high-quality, publicly accessible north-south connection and landscaped public realm along Edward Street.
- O93. To provide building setbacks and landscaping that contribute to the streetscape and provide an appropriate interface with surrounding development.

Controls

C132. Design development on site in accordance with Figure 22.

C133. Provide a 6m wide through site link for pedestrians and active transport with high quality landscaping and finishes.

C134. Setback buildings as follows:

- 6m from Balmain Road and Lilyfield Road;
- 3m from Helena Street; and
- As otherwise indicated in Figure 22.

C135. Provide maximum street wall heights of three storeys.

C136. Setback upper levels at least 3m from the street wall, unless otherwise indicated in Figure 22.

C137. Street setbacks are to incorporate deep soil planting, landscaping and tree planting.

C138. Retain and enhance Edward Street as a publicly accessible north–south connection through the site, incorporating landscaping and pedestrian access.

C139. Buildings are to address surrounding streets and Edward Street with clearly defined entries, windows and passive surveillance.

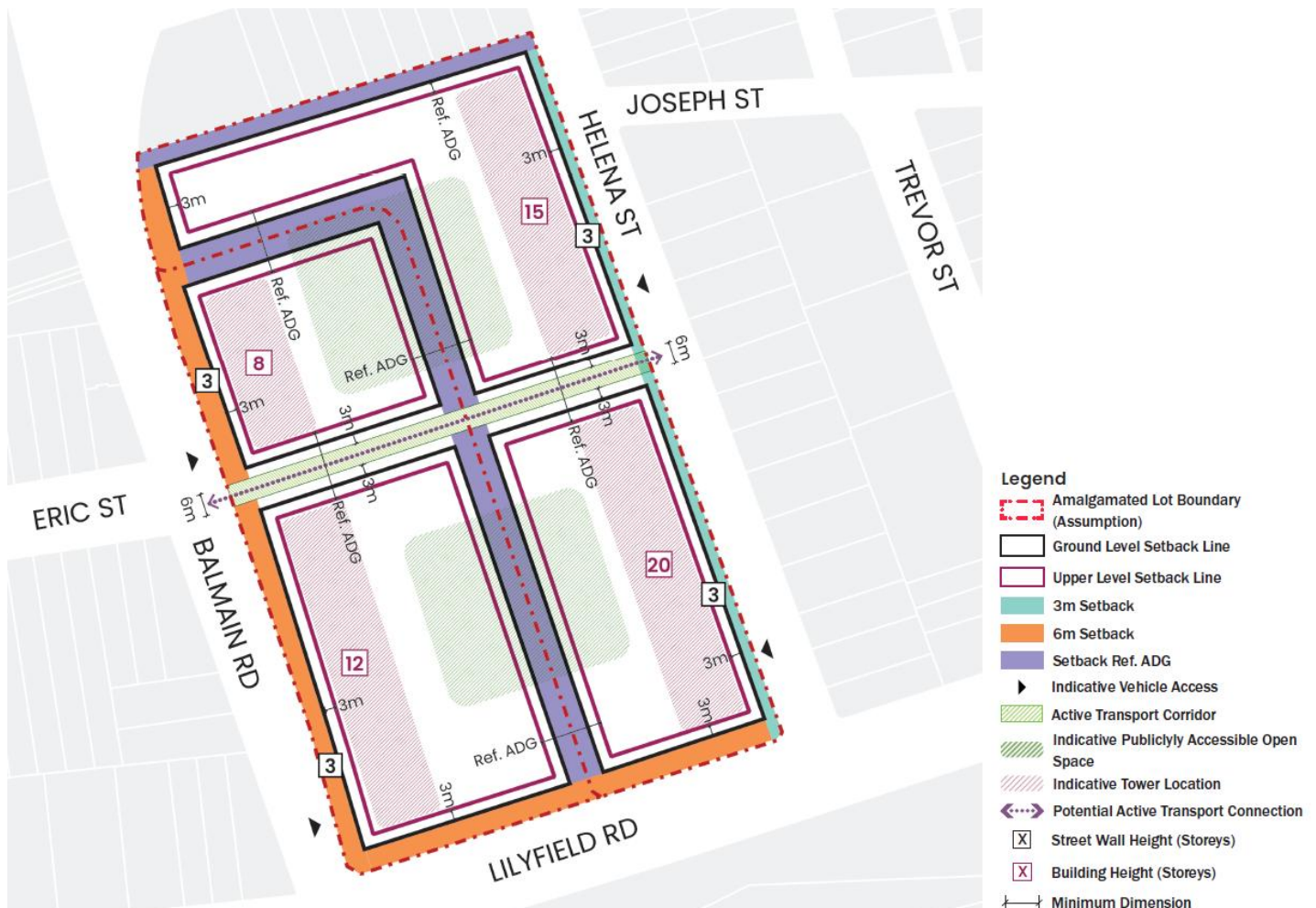


Figure 22: 1-11 Edward Street, 3 Helena Street, 111 Lilyfield Road, Lilyfield

4.7. Marrickville Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B, C, D, E, F, and G in Figure 23 below.

4.7.1. Site Specific precincts

Additional site-specific controls apply to the precincts identified in the following list and Figure 23 below. The Marrickville Road Precinct 'F', has been amended to include the following areas:

- 393-410 Marrickville Road David Street Transition Area marked as 'F1'.
- 359-365 Marrickville Road / 2-6 Woodbury Street marked as 'F2'.
- 109-119 Sydenham Road and 199-203 Victoria Road marked as 'H'.

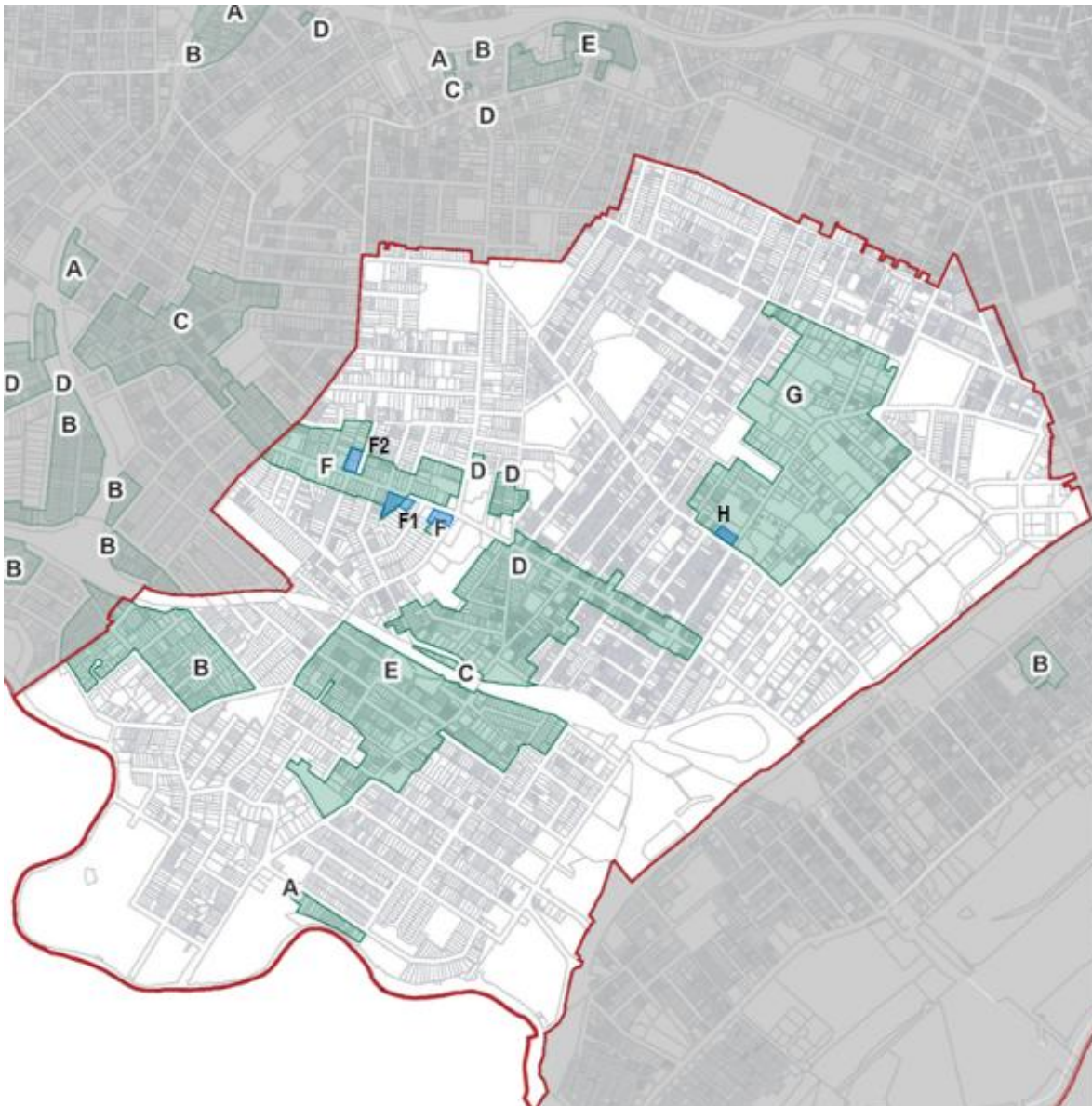


Figure 23: Marrickville Neighbourhood - Site Specific Precincts

(F) Marrickville Road

Objectives

- O94. To ensure new development responds appropriately to the desired future streetscape and delivers a cohesive built form along Marrickville Road.
- O95. To create opportunities for improved *neighbourhood* connections and more inviting public spaces through new publicly accessible through-site links.
- O96. To encourage development that delivers significant public benefits, including new high-quality public open space within the Marrickville Road precinct.
- O97. To ensure redevelopment of identified transition sites provides an appropriate interface between the Marrickville Road growth spine and adjoining heritage and low-density residential areas.

(F1) 394-398 and 408 & 410 Marrickville Road Transition to David Street properties

C140. Design development in accordance with the indicative built form shown in Figure 24.

C141. Setback buildings at least:

- a) 5m from Marrickville Road;
- b) 6m from sensitive interfaces shown in orange in Figure 24; and
- c) As otherwise indicated in Figure 24.

C142. Provide maximum street wall heights ranging from two to three storeys, as indicated in Figure 24.

C143. Setback upper levels at least 3m from street walls.

C144. Transition building height and built form to the David Street Heritage Conservation Area through building setbacks, upper-level setbacks and building articulation.

C145. Development is to demonstrate that adjoining residential properties receive sunlight between 9am and 3pm on 21 June to the principal private open space and living room windows consistent with the solar access requirements of the IWDGP 2026.

C146. Building height adjacent to the David Street Heritage Conservation Area is not to exceed four storeys.



Figure 24: 394-398 and 408-410 Marrickville Road David Street Transition Area

(F2) 359-365 Marrickville Road and 2-6 Woodbury Street Key Site

C147. Design the development in accordance with the indicative built form shown in Figure 25.

C148. Setback buildings at least:

- a) 2m from the newly created public open space on Marrickville Road; and
- b) 3m from Woodbury Street.

C149. Provide a maximum street wall height of three storeys.

C150. Setback upper levels at least 3m from the street wall, or as otherwise indicated in Figure 25.

C151. Development is to deliver at least 1,000sqm of public open space as identified in Figure 25 as part of any redevelopment of the site.



Figure 25: 359-365 Marrickville Road / 2-6 Woodbury Street

(H) 109-119 Sydenham Road and 199-203 Victoria Road

Objectives

- O98. To facilitate mixed-use and residential development that reinforces Sydenham Road and provides a high-quality built form at the Victoria Road intersection.
- O99. To provide active street frontages and a human-scale street wall along Sydenham Road.
- O100. To provide an appropriate transition in building height, scale and use to the residential area north of the site.

Controls

C152. Design development in accordance with the built form, setbacks and heights shown in Figure 26.

C153. Provide active non-residential uses at ground level along the Sydenham Road and Victoria Road frontages.

C154. Setback buildings at least:

Stage 2 Housing Investigation Areas

- a) 3m from Sydenham Road;
- b) 4m from Victoria Road; and
- c) As indicated elsewhere in Figure 26.

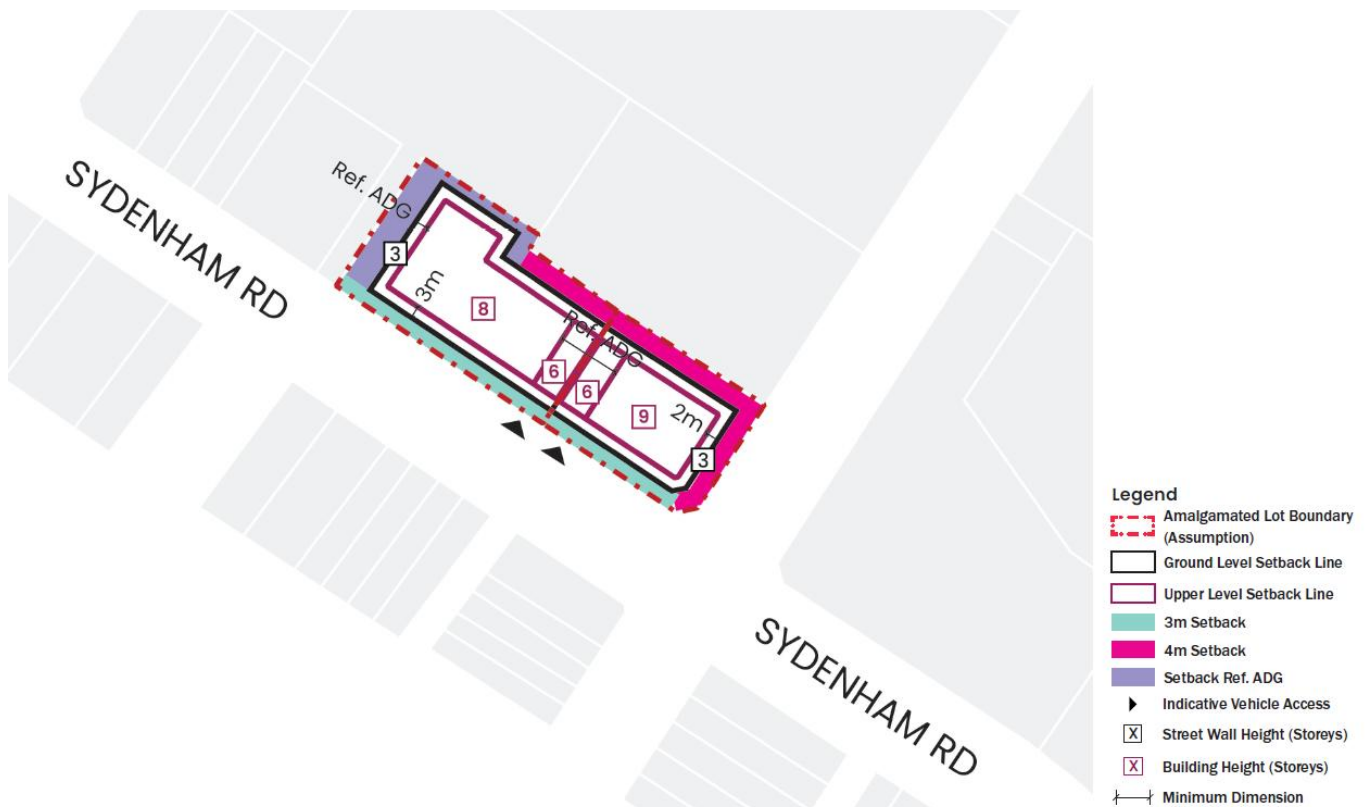
C155. Buildings are to have a maximum three storey street wall to Sydenham Road and Victoria Road.

C156. Setback upper levels above the street wall by at least:

- a) 3m on the Sydenham Road frontage;
- b) 2m on the Victoria Road frontage; and
- c) As indicated elsewhere in Figure 26.

C157. Development is to provide building setbacks and landscaping that establish an appropriate transition to adjoining residential development.

C158. Development at the Sydenham Road and Victoria Road intersection is to provide a well-defined corner through building form, entries and architectural treatment.



4.8. Petersham Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B, C, D, E, and F in Figure 27 below.

4.8.1. Site Specific Precincts

Additional site specific controls apply to Gordon Street/West Street precinct marked 'G'.

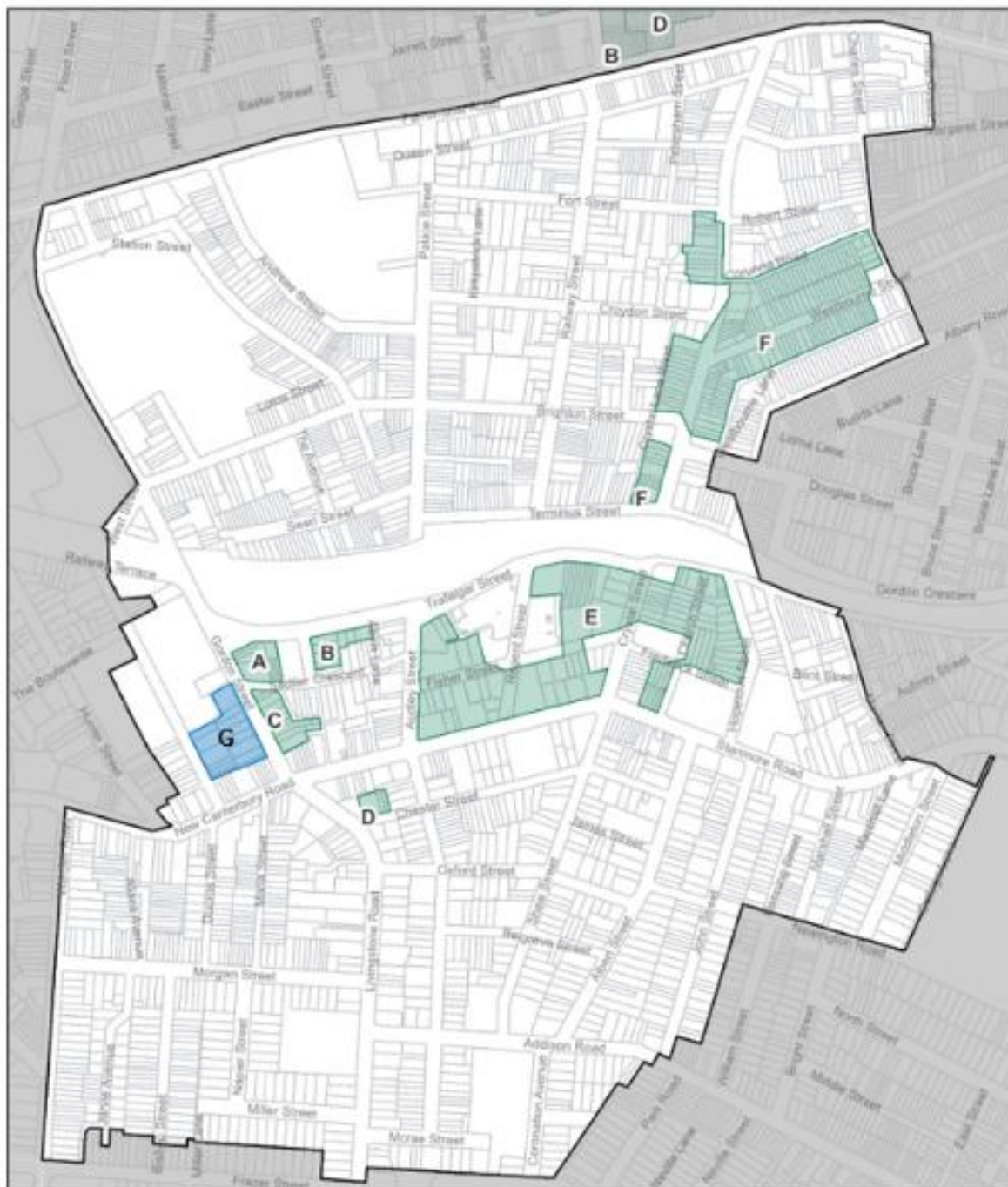


Figure 27: Petersham Neighbourhood – Site Specific Precincts

(G) Gordon Street/West Street Precinct

Objectives

- O101. To deliver a high-quality mixed-use development, with non-residential uses on the ground floor, that strengthens the Petersham local centre.
- O102. To provide a built form that minimises visual bulk through podium and tower articulation while protecting the amenity of adjoining development.
- O103. To ensure the built form reinforces a consistent street wall and *active frontage* along Gordon Street.
- O104. To protect and enhance significant trees on the Gordon Street frontage.
- O105. To reduce the perception of building bulk and deliver high-quality outcomes.
- O106. To integrate vehicle access, servicing and loading into the development without compromising pedestrian safety or the quality of the public domain.

Controls

Land Use

- C159. Provide an active frontage with commercial uses on the ground floor along Gordon Street.
- C160. Locate residential uses above the podium level.
- C161. Car parking can be located in the basement or on first floor level.
- C162. Deliver a full range supermarket within the development over ground, first or basement levels.
- C163. Residential land uses may be provided along the ground floor frontage of West Street.

Built Form

- C164. Design the site in accordance with Figure 28, including incorporation of:
 - a) Lot amalgamation;
 - b) Boundary *setbacks*;
 - c) *Building* siting, orientation, and depth;
 - d) Podium and tower setbacks;
 - e) Separation of *buildings*;
 - f) Pedestrian entrance from West Street; and
 - g) Vehicular entries

Access & Open Space

- C165. Provide vehicle access to the car park and loading dock through the newly created laneway on the southern end of the site.
- C166. Provide a minimum 6m wide pedestrian through site link on the northern end of the site between Gordon and West Street.
- C167. Provide a publicly accessible open space area at the northern end of the site that is at least 12m wide. Design it in accordance with the following:
 - a) Retain and enhance mature trees in this location.
 - b) Maximise deep soil and high quality landscaping.
 - c) Incorporate features for passive recreation including tables and seating.

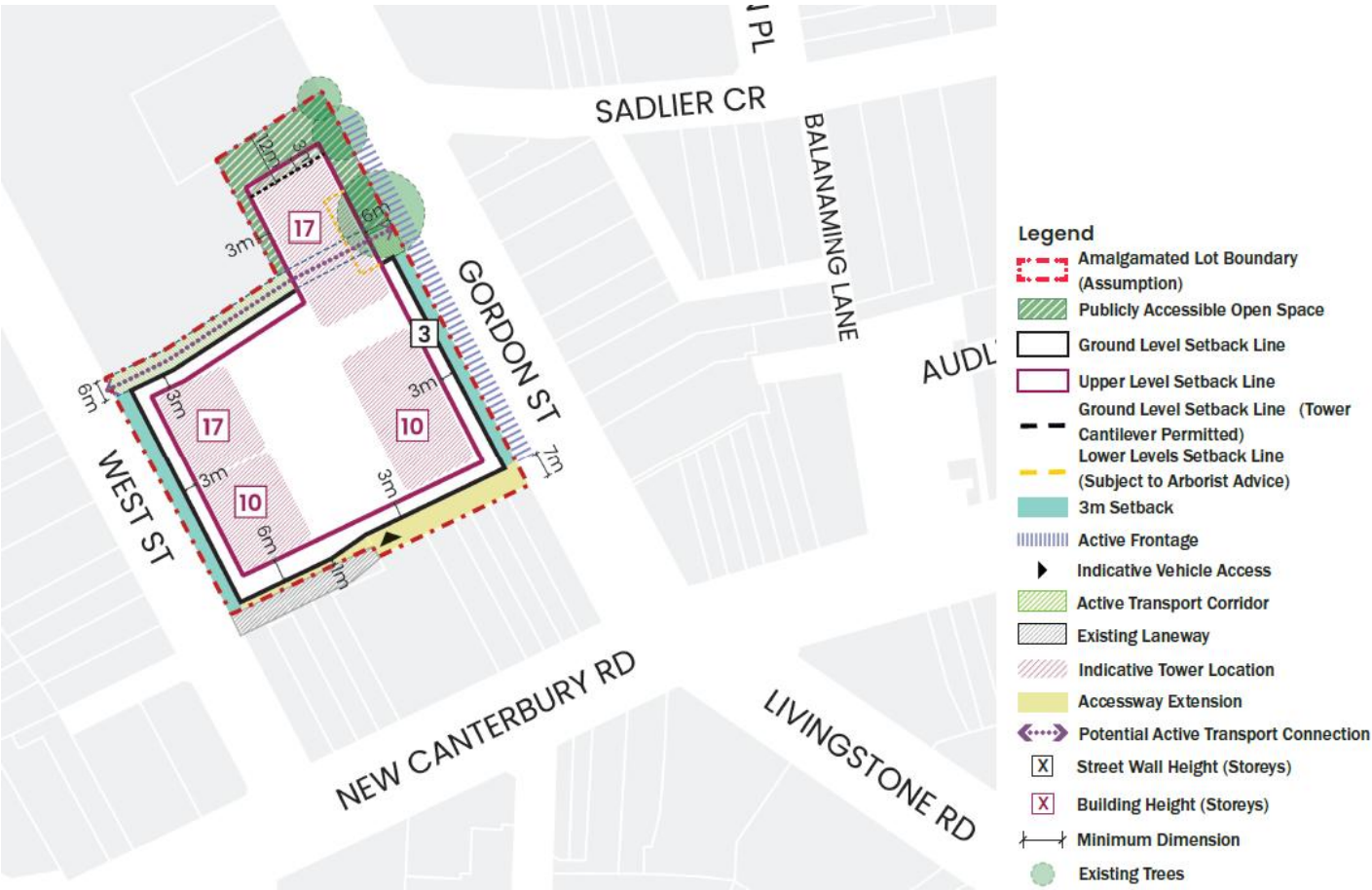


Figure 28: Gordon Street/West Street Precinct - Indicative Layout and Design Principles

4.9. Rozelle Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Areas A, B, C, D, and E in Figure 29 below.

4.9.1. Site Specific Precincts

- 19-33 Toelle Street and 31-33 Manning Street, Rozelle, apply to the land marked 'F'.
- 29-35 Callan Street and 30-32 Toelle Street, Rozelle apply to the land marked 'G'.
- 2 Burt Street, Rozelle apply to the land marked 'H'.

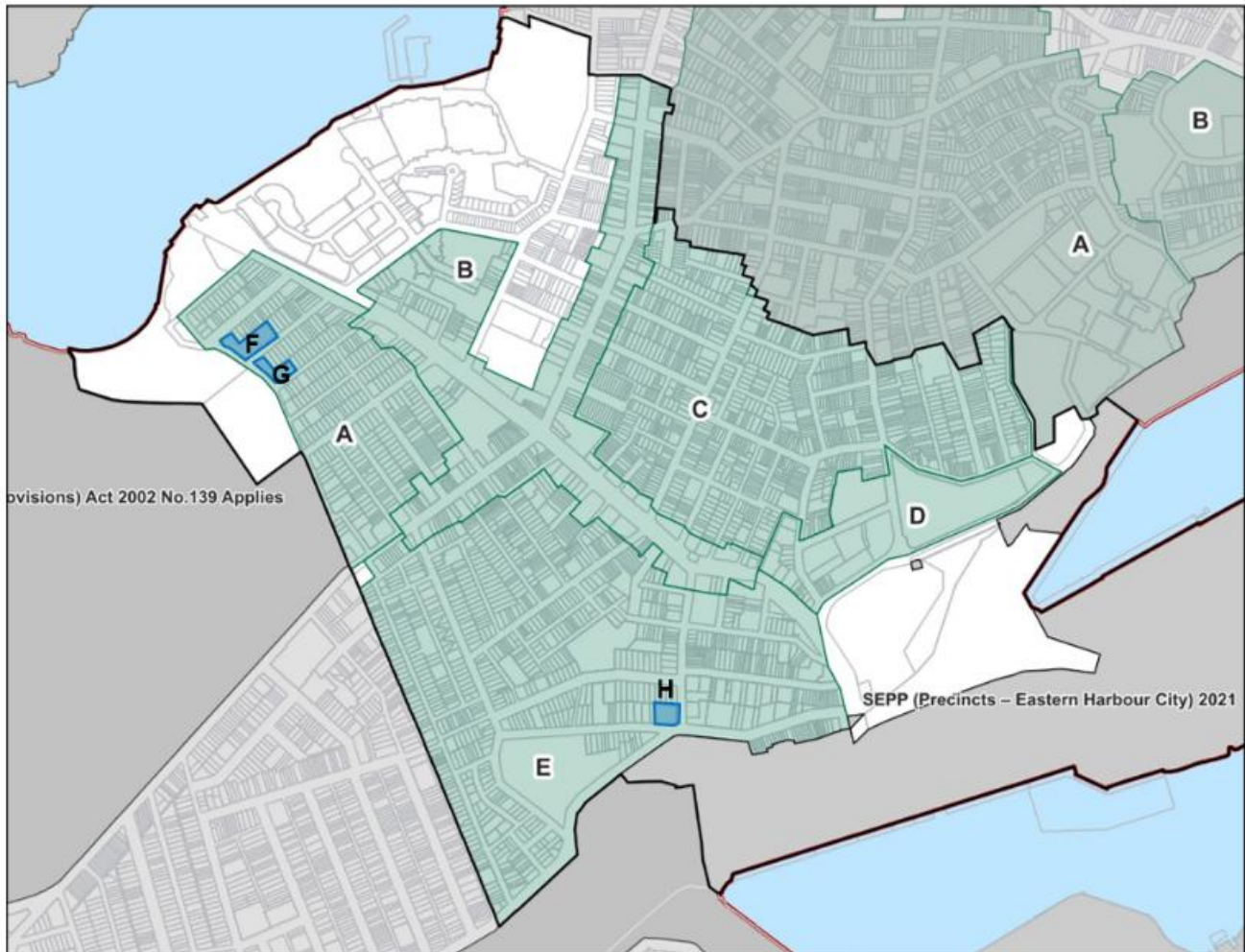


Figure 29: Rozelle Neighbourhood

(F) 19-33 Toelle Street and 31-33 Manning Street, Rozelle

Objectives

O107. To ensure medium-density residential redevelopment is appropriately located on the site adjacent to the park through considered building scale, building siting, and setbacks to provide a quality development on the parcel of land.

Controls

C168. Development is to generally accord with the indicative layout and design principles shown in Figure 30.

C169. Setback buildings at least 3m from Toelle Street, Manning Street and Clubb Street.

C170. Limit street wall heights to the Toelle Street, Manning Street and Clubb Street to three storeys.

C171. Setback upper levels at least 3m from street walls.

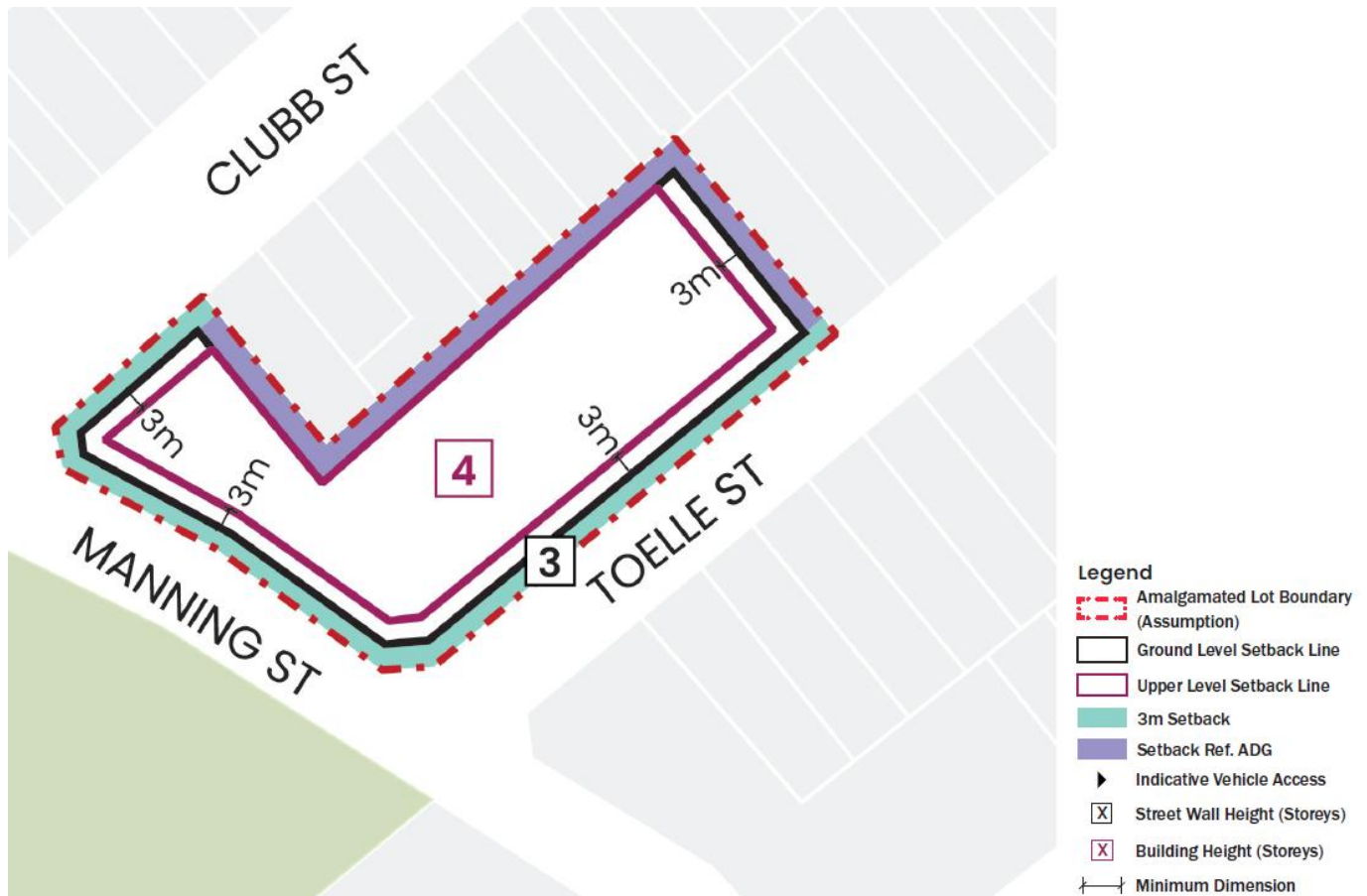


Figure 30: 19-33 Toelle Street and 31-33 Manning Street - Indicative Layout and Design Principles

(G) 29-35 Callan Street and 30-32 Toelle Street, Rozelle

Objectives

O108. To ensure medium-density residential redevelopment responds appropriately to the location of the site adjacent to the park through building scale, siting, and setbacks, to provide a quality development on the parcel of land.

Controls

C172. Development is to generally accord with the indicative layout and design principles shown in Figure 31.

C173. Setback buildings at least 3m from Toelle Street, Manning Street and Callan Street.

C174. Limit street wall heights to the Toelle Street, Manning Street and Callan Street to three storeys.

C175. Setback upper levels at least 3m from street wall.

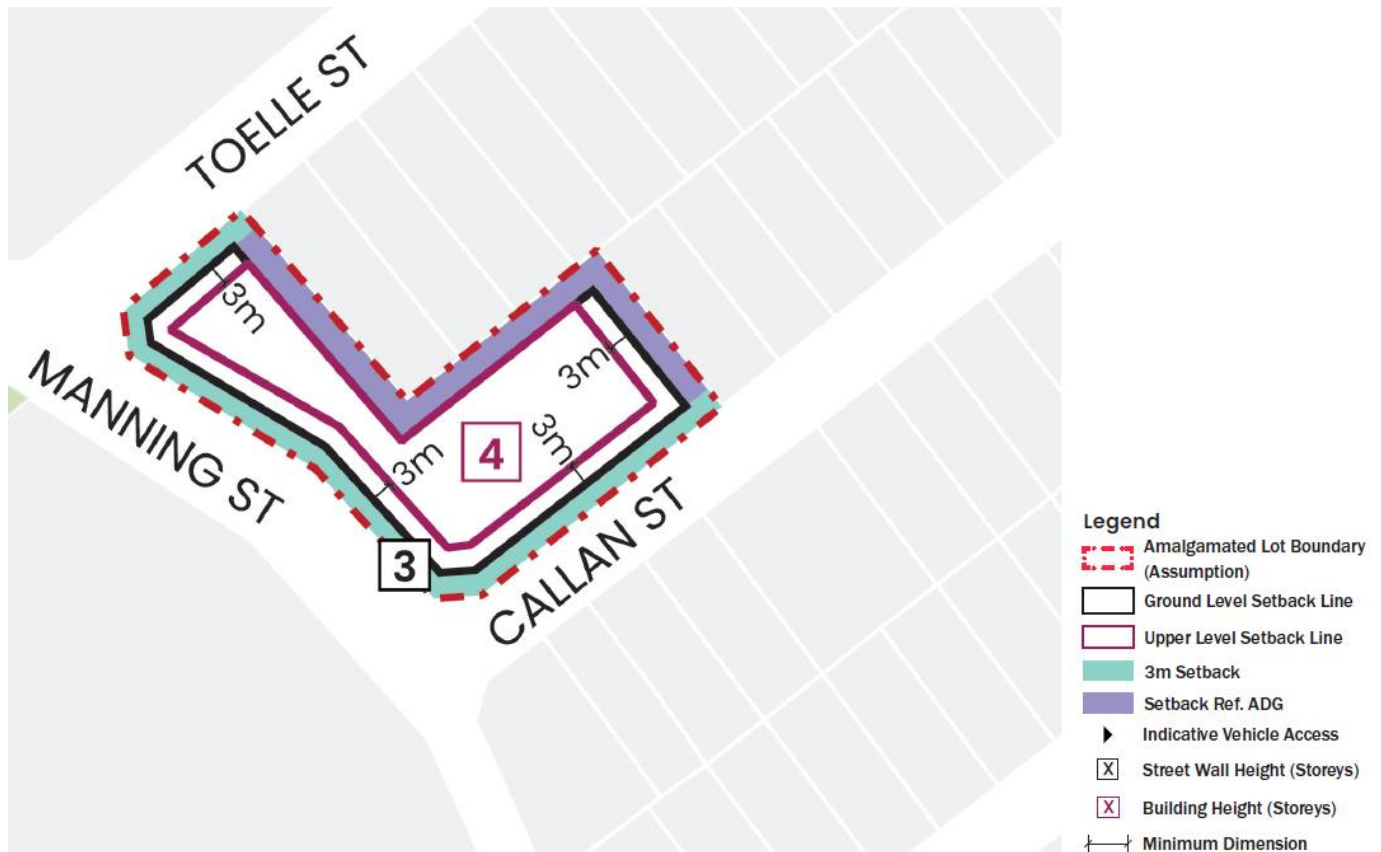


Figure 31: 29-35 Callan Street and 30-32 Toelle Street - Indicative Layout and Design Principles

(H) 2 Burt Street, Rozelle

Objectives

O109. To ensure medium-density residential redevelopment responds appropriately to the location of the site adjacent to the park through building scale, siting, and setbacks, to provide a quality development on the parcel of land.

Controls

C176. Development is to generally accord with the layout and design principles shown in Figure 32.

C177. Setback buildings at least 3m from Burt Street and Gordon Street.

C178. Limit street wall heights to the Gordon Street and Burt Street frontages to three storeys.

C179. Setback upper levels at least 3m from the street wall on both street frontages.

4.10. St Peters Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls.

Sub-precinct A1 is an amendment to precinct A in Section 4.20 of the IWDCP 2026. The Design Guide should be read alongside this section of the IWDCP 2026.

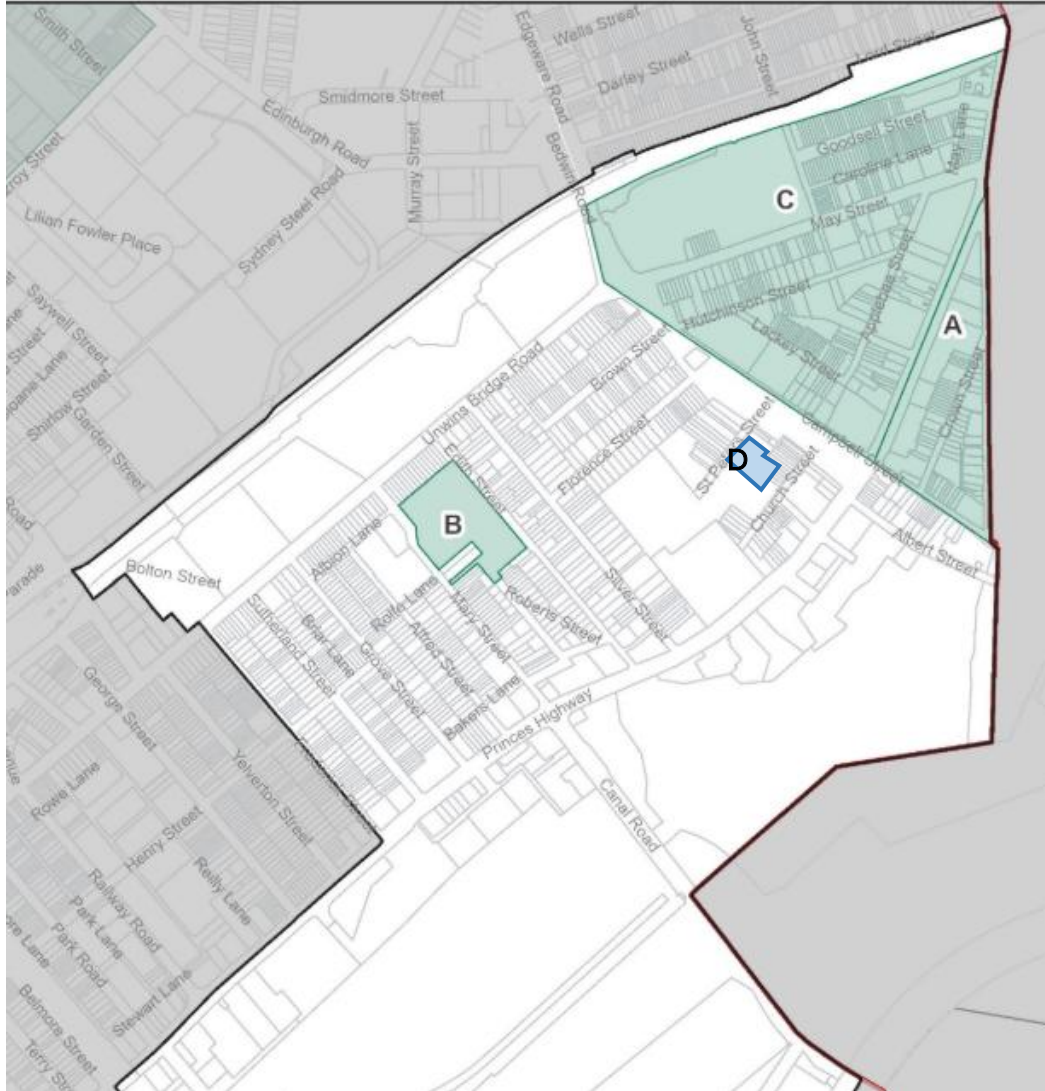


Figure 33: St Peters - Indicative Layout and Design Principles

4.10.1. Site Specific precincts

(A) Barwon Park Precinct

Additional objectives and controls for precinct 'A' include:

Objectives

- O110. To locate larger *buildings* along the Princes Highway and the northern end of Barwon Park Road, while keeping development sympathetic to the low scale character of Crown Street.
- O111. To provide employment uses on ground floor along the Princes Highway.
- O112. To provide a landmark building on the south west corner of the Precinct, recognising changes to the physical context and gateway location of the site.
- O113. To improve the permeability of the site from Barwon Park Road, mid-block through to Crown Street and the Princes Highway.

Controls

Built Form

- C180. Design development on the block between Princes Highway and Crown Street to appropriately scale with lower scale residential development on Crown Street.
- C181. Limit street wall heights on Crown Street, Princes Highway and Barwon Park Road to four storeys.
- C182. Setback upper levels above four storey street walls by at least 2m.
- C183. Setback upper levels further where modulation in facades is required to break up expansive tower lengths.
- C184. Setback buildings on the eastern side of Crown Street by at least 3m., as shown in the Figure 34 below.
- C185. Setback buildings on the western side of Barwon Park Road by at least 3m from the street boundary, as shown in Figure 34 below.

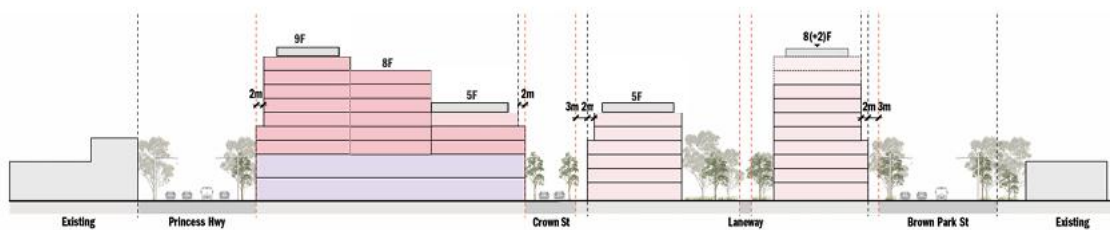


Figure 34: Barwon Park Precinct - Built Form Section

- C186. Future built form on the corner of Princes Highway and Campbell Street, is to:
- respond sensitively to low density residential interfaces on Crown Street.
 - respond positively to the interface with land to the north on Princes Highway.
 - articulate building facades to reduce visual bulk and retain fine grain character on the lower levels.
 - design entries to be clearly visible, safe and accessible.
 - locate a single vehicle access point for the development on Crown Street.

(D) 159 Princess Highway, St Peters Precinct

Objectives

- O114. To provide a well-defined mixed-use built form that addresses Princes Highway, Victoria Street and Church Street.
- O115. To provide a human-scale street frontage with upper levels setback to reduce building bulk and reinforce the street wall.
- O116. To activate the Princes Highway frontage and provide a high-quality pedestrian interface.
- O117. To design the building to co-exist with use of the White Horse Hotel as a pub and live music venue.

Controls

- C187. Development is to generally accord with the built form, setbacks and heights shown in Figure 35.
- C188. Provide an active ground-floor frontage to Princes Highway.
- C189. Buildings are to be setback at least 3m from Victoria Street and Church Street.
- C190. Building elements above the podium are to be setback a minimum 3m from Victoria Street, Church Street, and adjacent site to the northeast.
- C191. Demonstrate residential dwellings will be able to achieve a high level of internal amenity and uninterrupted sleep with the operation of the White Horse Hotel as a pub and live music venue.
- C192. Building massing is to be generally distributed in accordance with Figure 35.

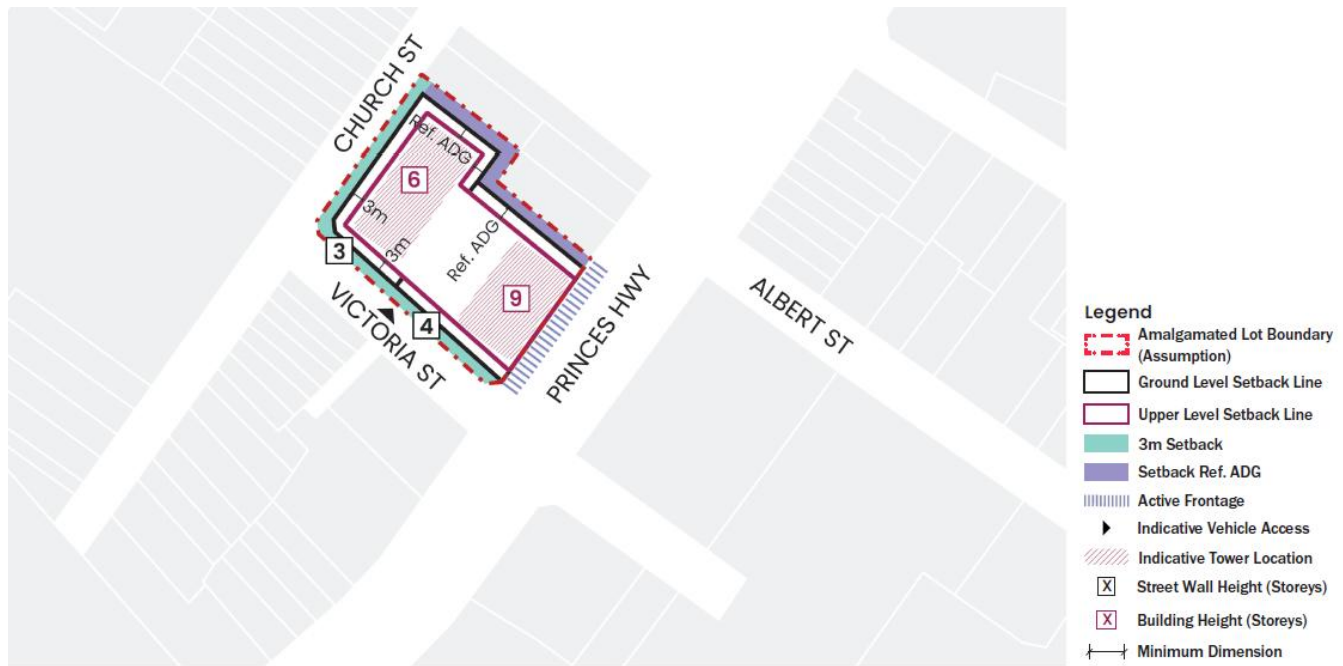


Figure 35: 159 Princes Highway – Additional Controls

4.11. Stanmore Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls. The Percival Road precinct section below will inform future amendments to Section 4.21 of the IWDCP 2026.

4.11.1 Site Specific Precincts

This chapter applies to the Stanmore Neighbourhood as shown in Figure 36.

(A) Percival Road Precinct

Objectives

- O118. To retain the fine-grain commercial character and two storey street wall of Percival Road while accommodating additional development that is visually recessive from the street.
- O119. To retain contributory commercial facades and building elements that contribute to the established character, urban grain and rhythm of Percival Road.
- O120. To provide an appropriate built form transition to adjoining lower-scale residential development.
- O121. To reinforce the commercial character and pedestrian activity of Percival Road with active street frontages.

Controls

- C193. Design development on site in accordance with the built form principles shown in Figure 36.
- C194. Retain and restore traditional commercial facades on Percival Road and incorporate them into new developments.
- C195. Development fronting Percival Road is to provide a maximum two storey street wall.
- C196. Building elements above the two storey street wall are to be setback a minimum of 6m from Percival Road.
- C197. Additional building height may be accommodated behind retained facades where it is setback and designed to remain visually recessive when viewed from Percival Road.
- C198. Development at the rear of each block is to provide a maximum three storey built form to provide a transition to adjoining lower-scale residential development.
- C199. Where existing residential sites within the E1 Local Centre zone are redeveloped for mixed use development, a maximum two storey street wall is to be provided to Percival Road, with upper levels setback a minimum 6m from the street frontage.

C200. Active frontages are to be provided along Percival Road and Temple Street.



Figure 36: Percival Street precinct - Indicative Layout and Design Principles

4.12. Newtown Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls, and site specific controls for Area A in Figure 36 below.

4.12.1. Site Specific Precincts

This chapter applies to the Stanmore Neighbourhood as shown in Figure 36.

It contains objectives and controls for:

- 122 Alice Street to the land marked 'B'.
- 45 Alice Street apply to the land marked 'C'.

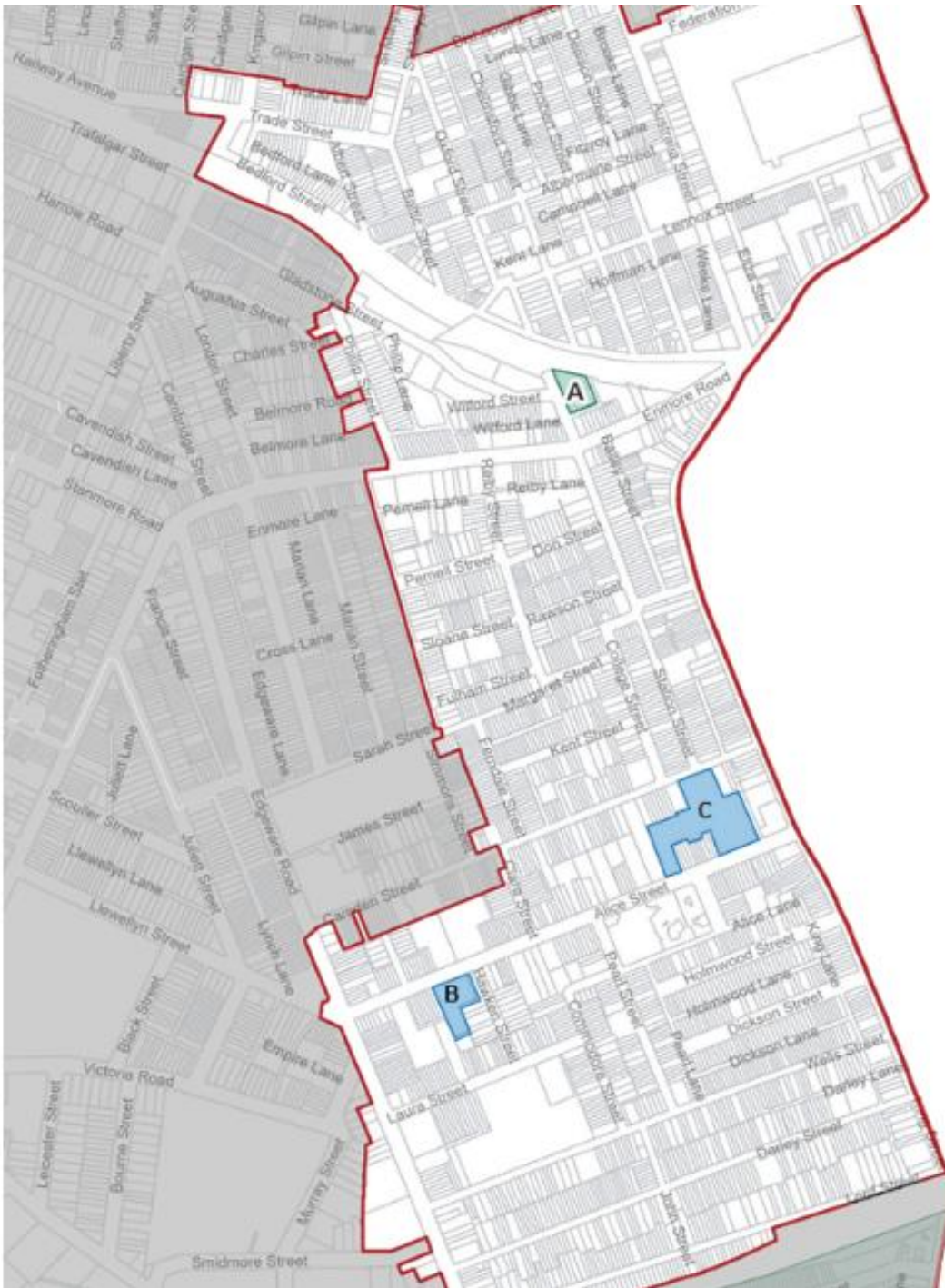


Figure 37: Newtown Neighbourhood – Site Specific Precincts

(B) 122 Alice Street, Newtown

Objectives

- O122. To facilitate redevelopment of the site as a high-quality residential neighbourhood.
- O123. To improve the quality and functionality of Alice Street Playground through the provision of additional publicly accessible open space.
- O124. To retain significant mature trees and reinforce the established landscape character of Alice Street.
- O125. To provide a built form that transitions appropriately to adjoining residential development.

Controls

Public Open Space

- C201. Development is to provide a minimum 210sqm of publicly accessible open space adjoining Alice Street Playground in accordance with Figure 38.
- C202. Setback buildings at least 3m from Alice Street to enhance connectivity to the Alice Street playground and the public domain overall.

Built Form

- C203. Development is to generally accord with the built form principles shown in Figure 38.
- C204. Buildings are to provide a maximum three storey street wall to Alice Street.
- C205. Building elements above three storeys are to be setback at least 3m from the street wall.
- C206. Development is to provide an appropriate transition in height and scale to adjoining residential development.

Landscape

- C207. Existing mature trees, particularly along the northern boundary, are to be retained.
- C208. Development is to demonstrate that building siting has been designed around significant canopy trees identified by a qualified arborist.
- C209. Deep soil planting and replacement canopy trees are to be provided to reinforce the landscape character of the site and adjoining public open space.



Figure 38: 45 Alice Street - Indicative Built Form and Design Principles.

(C) 45 Alice Street, Newtown

Objectives

- O126. To facilitate the redevelopment of the site as a high-quality residential neighbourhood.
- O127. To provide a high-quality interface with Matt Hogan Reserve.
- O128. To retain mature trees and reinforce the landscape character of the site and adjoining public open space.
- O129. To sensitively transition built forms to the adjoining residential neighbourhood.

Controls

Built Form and Public Domain

- C210. Design development on site in accordance with the built form and public domain principles shown in Figure 39.
- C211. Provide attractive residential frontages to Alice Street and Matt Hogan Reserve through clearly defined building entries, passive surveillance, landscaping and high-quality architectural design.
- C212. Setback buildings at least 3m from Alice Street, Peacock Lane and Matt Hogan Reserve in accordance with Figure 39.
- C213. Buildings are to provide a maximum three storey street wall to Alice Street, Peacock Lane, and Camden Street.
- C214. Setback upper levels above the street wall by;
 - a) 5m to Camden Street;
 - b) 3m generally; and
 - c) As otherwise indicated in Figure 39.
- C215. Building height and massing are to transition appropriately to adjoining lower scale residential development generally in accordance with Figure 39.

Landscape

- C216. Demonstrate that buildings have been sited to prioritise significant canopy trees identified by a qualified arborist.
- C217. Deep soil planting and replacement canopy trees are to be provided to reinforce the landscape setting of the site and Matt Hogan Reserve.



Figure 39: 45 Alice Street - Indicative Built Form and Design Principles.

4.13. Ashfield Neighbourhood

Refer to IWDCP 2026 as exhibited for a description of Aboriginal Cultural Heritage, existing and desired future character statements, general objectives and controls.

Sites deferred for review in Our Fairer Future Plan 2 were determined by Council resolution. These sites were identified through previous studies and public submissions as having potential for uplift but required further investigation with regard to items such as flooding, heritage status and scale transition.

The Design Guide for the sites are outlined below as an amendment to and should be read alongside Section 4.2 of the IWDCP 2026. An additional site specific precinct 'K' has been added to the Ashfield Neighbourhood.

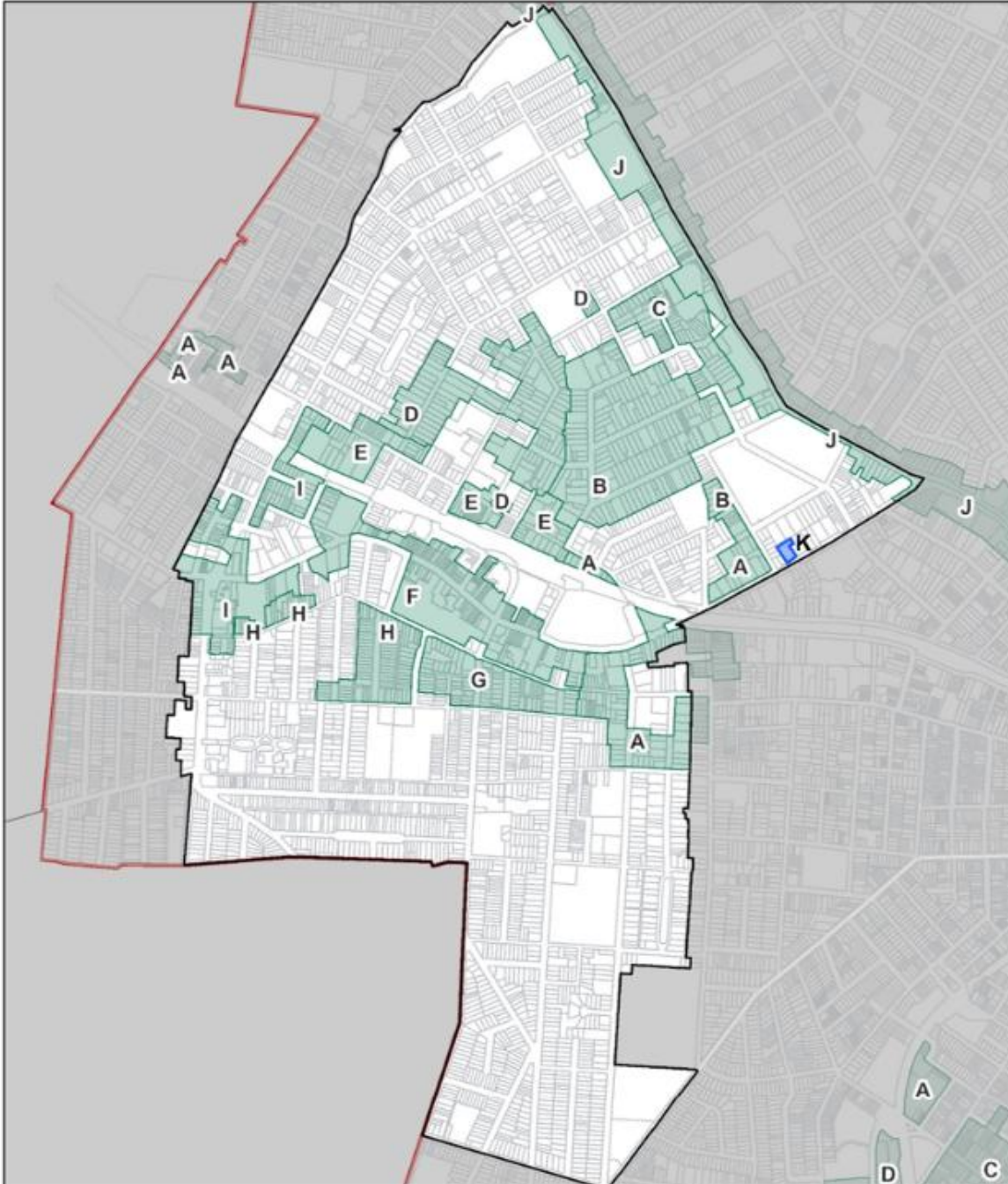


Figure 40: Ashfield Neighbourhood – Site Specific Precincts

4.13.1. Site Specific Precincts

Additional site specific controls apply to the sites listed below.

(A) Ashfield East Precinct

- 1 Ormond Street & 8A-14 Bruce Street, Ashfield
- 35-37 Prospect Road, Summer Hill

(B) Orpington Precinct

- 48A-50 Pembroke Street, Ashfield

(C) Northern Spine Precinct

- 46-54 Charlotte Street, Ashfield
- 36-46 Bland Street, 2-12 Comet Street, and 51-61 Alt Street, Ashfield
- 60-62 Alt Street, Ashfield

(E) Ashfield Centre North Precinct

- 2-10 Bland Street, 74-80 Elizabeth Street and 1-5 Nixon Avenue, Ashfield
- 2-8 Nixon Avenue, 82-94 Elizabeth Street and 9-13 Alt Street, Ashfield
- 96-104 Elizabeth Street and 12- 18 Alt Street, Ashfield

(H) Southern Village Precinct

- 145-153 Norton Street, Ashfield

(I) Western Spine Precinct

- 18-20 Beatrice Street, Ashfield
- 1-7 Beatrice Street, 2-28 Thomas Street & 379-391 Liverpool Road, Ashfield

(J) Parramatta Road Precinct

- 20-28 Loftus Street, Ashfield

(K) Liverpool Road Precinct

- 67-69 Liverpool Road, Ashfield

(A) Ashfield East

Ormond Street & 8A-14 Bruce Street, Ashfield

C218. Apply the following additional controls:

- a) Align buildings with the existing Ormond Street setback.
- b) Limit street wall heights to three storeys.
- c) Setback development 4m from Bruce Street including a 1m landscaped setback at grade adjoining the footpath ahead of property fences.

35-37 Prospect Road, Summer Hill

C219. Apply the following additional controls:

- a) New development is to retain the current street alignment of the adjoining listed buildings across the whole site frontage.
- b) Retain a high level of amenity for heritage listed sites to the south, including maintaining minimum solar access and privacy required under the IWDCP 2026.

(B)Orpington Precinct

48A-50 Pembroke Street, Ashfield

C220. Apply the following additional controls:

- a) Active street frontages are to occur to Ashfield Park and at the Orpington Street corner, through a 1.5m ground floor setback along the whole Pembroke Street frontage and a further recessed/splay corner.
- b) Recess top floor(s) to reduce the apparent building scale and bulk.
- c) Design the development with an appropriate interface with the adjacent heritage item with advice through a Heritage Impact Statement. Preserve the amenity of the heritage listed dwelling, namely solar access and visual privacy.

(J)Parramatta Road Precinct

20-28 Loftus Street, Ashfield

C221. Apply the following additional controls:

- a) Provide a 3m setback to Loftus Street and at the corner with Chandos Street.
- b) Recess the top floor from the street wall.

(C)Northern Spine Precinct

46-54 Charlotte Street, Ashfield

C222. Apply the following additional controls:

- a) Provide a 4m setback to Charlotte Street including 1m landscaped setback to the fence.
- b) Orientate development at 46 Charlotte Street to orientate to the potential future open space to the south, ensuring that the design takes into account any impact on the overshadowing of the open space, boundary treatment and surveillance of the open space.
- c) Development is to positively respond to the potential future open space to the south, and consider overshadowing, height and treatment of side boundary fencing, passive surveillance and overall design excellence.

36-46 Bland Street, 2-12 Comet Street, 51-61 Alt Street Ashfield

C223. Apply the following additional controls:

- a) Minimum 6m landscaped setback to the access lane for 55A Alt Street, to be provided at grade. The 6m landscaped area must include a 4m deep soil setback to the fence line providing for raingardens and flood mitigation.
- b) 4m setback along Alt Street, Comet Street and the N-S laneway.
- c) All front fencing to be made of open materials, without obstructions to facilitate the flow of water into the landscaped setbacks.

60-64 Alt Street Ashfield

C224. Apply the following additional control:

- a) New development should reflect the adjoining existing development in relation to setbacks and height at the street frontage, with the top floor(s) being recessed.

(E)Ashfield Centre North Precinct

2-10 Bland Street, 74-80 Elizabeth Street and 1-5 Nixon Avenue, Ashfield

C225. Apply the following additional controls:

- a) A street wall is not required along Nixon Street, provided that there is a minimum 2m deep soil setback at grade for drainage and landscaping, including small trees.
- b) Along Bland Street, provide a 3m landscaped deep soil setback and a three storey street wall. Levels above the third floor are to be further setback from the front street wall by 2m.

Stage 2 Housing Investigation Areas

- c) Flood mitigation with adequate management of overland flow path through careful placing of the built form of the site must be undertaken.
- d) Interfaces to Elizabeth Street is as follows:
 - i. 3m setback from Elizabeth Street; and
 - ii. maximum three storey street wall with a 3m setback for levels above the 3rd level, and a further 2m setback for the top two floors of the building.
- e) Allow the street wall to be built to the side boundary (subject to flooding management), however where the combined length of the street wall exceeds 55m in length, side setbacks or articulation with minimum 3m dimensions must be provided.
- f) Where a building is taller than 12 storeys, all floors above the street wall must be set back a minimum 6m from the street wall.
- g) Within 12m from the existing boundary with Elizabeth Street, limit the total length of the building facade to 35m.

2-8 Nixon Avenue, 82-94 Elizabeth Street and 9-13 Alt Street Ashfield

C226. Apply the following additional controls:

- a) Flood mitigation with adequate management of overland flow path through careful placing of the built form of the site must be undertaken.
- b) A street wall is not required along Nixon Street, provided that there is a minimum 2m deep soil setback at grade for drainage and landscaping, including small trees.
- c) Interfaces to Elizabeth Street is as follows:
 - i. 3m setback from Elizabeth Street; and
 - ii. Maximum three storey street wall with 3m setback for levels above, and a further 2m setback for the top two floors of the building.
- d) Allow the street wall to be built to the side boundary (subject to flooding management), however where the combined length of the street wall exceeds 55m in length side setbacks or articulation with minimum 3m dimensions must be provided.
- e) If a building is taller than 12 storeys, all floors above the street wall must be set back a minimum 6m from the street wall.
- f) Within 12m from the existing boundary with Elizabeth Street, limit the total length of the building facade to 35m.

96-104 Elizabeth Street and 12- 18 Alt Street, Ashfield

C227. Apply the following additional controls:

- a) 0m setback to Elizabeth Street with a three storey street wall. A 3m setback above the 3rd level.
- b) 4m setback to Alt Street, with a four storey street wall. A 3m setback above the 4th level.
- c) Flood mitigation with adequate management of overland flow path through careful placing of the built form of the site must be undertaken.

(I)Western Spine Precinct

18-20 Beatrice Street, Ashfield

C228. Apply the following additional controls:

- a) Setback 1.5m from Frederick Street and 3m from Beatrice Street.
- b) Provide an active frontage to Frederick Street.
- c) Setback from the eastern boundary by at least 4.5m.

1-7 Beatrice Street, 2-28 Thomas Street & 379-391 Liverpool Road, Ashfield

C229. Apply the following additional controls:

- a) The proposed development is to demonstrate:

- i. no worsening of flooding conditions at existing developments;
- ii. that remaining sites within the block can redevelop with a compliant scheme; and
- iii. how integrated flooding management can be successfully implemented by the proposed and future adjoining development.

(H) Southern Village Precinct

145-153 Norton Street, Ashfield

C230. Apply the following additional controls:

- d) Setback 4m from Norton Street, inclusive of a 1m footpath widening at the street interface.
- e) Maximum three storey street wall.
- f) Setback upper levels 3m from the street wall.

(K) Liverpool Road Precinct

67-69 Liverpool Road, Ashfield

C231. Apply the following controls:

- a) Redevelop the site with a front street setback to Liverpool Road that retains the tree canopy and tree root protection area.
- b) Provide a minimum setback of 8m from Liverpool Road as shown in Figure 41
- c) Provide a 3 m upper level front setback to enable a street wall height that responds to the boulevard vegetation in the street.
- d) Maintain side and rear setbacks of 4.5m.

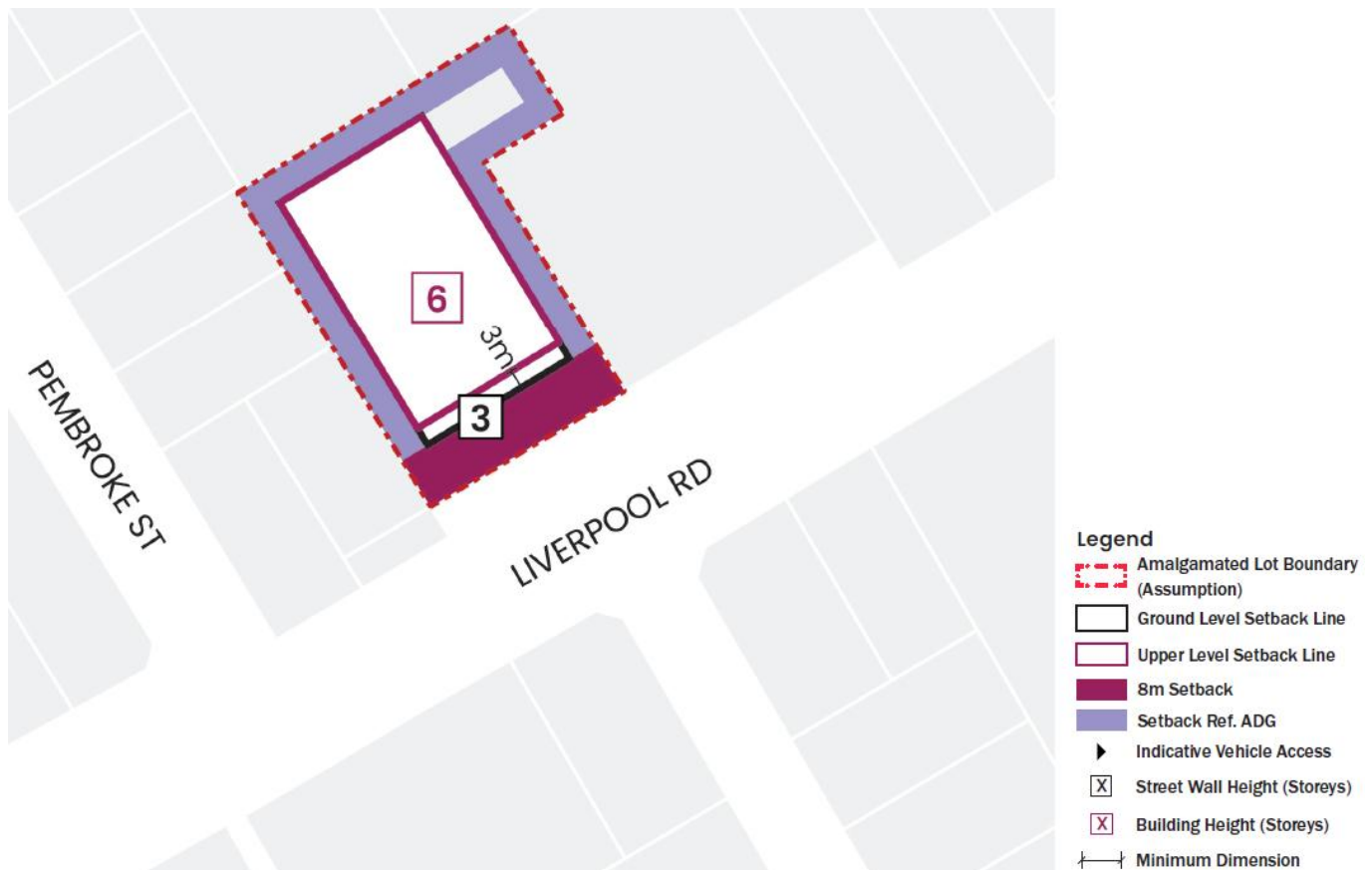


Figure 41: Liverpool Road, Ashfield

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